

AGENDA
WYOMING PLANNING COMMISSION
TUESDAY, NOVEMBER 21, 2023
7:00 P.M.

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

APPROVAL OF AGENDA

PUBLIC COMMENT ON NON-PUBLIC HEARING AGENDA ITEMS

This public comment period is reserved for comment on non-public hearing items only. It is important to note this is not an opportunity for dialog or debate, but an opportunity to provide comment to the Planning Commission. Upon approaching the podium, please begin by providing your name and address. There is a 3 minute limit per person.

PUBLIC HEARING

1. Request for a Permanent Supportive Housing special use at 2929 Burlingame Ave SW (Section 15) (Woda Cooper Development Inc.)
2. Request for Special Land Use approval for a body shop at 3940 Eastern Avenue (Section 20) (Penske Trucking)

OLD BUSINESS

NEW BUSINESS

3. Request for Site Plan Approval of a building addition at 1415-1425 Burlingame Ave SW (Section 15) (Michigan Foam Products)

INFORMATIONAL

4. Learning & Growth – Parks and Recreation Master Plan Presentation

PUBLIC COMMENT

This public comment period is reserved for any comments. It is important to note this is not an opportunity for dialog or debate, but an opportunity to provide comment to the Planning Commission. Upon approaching the podium, please begin by providing your name and address. There is a 3 minute limit per person.

ADJOURNMENT

THESE MINUTES ARE SUBJECT TO FORMAL APPROVAL BY THE WYOMING
PLANNING COMMISSION AT ITS REGULAR MEETING OF NOVEMBER 21, 2023

PLANNING COMMISSION
MEETING MINUTES OF OCTOBER 17, 2023
CITY COUNCIL CHAMBERS
CITY OF WYOMING, MICHIGAN

MEMBERS PRESENT: Gilreath-Watts, Hall, Lamer, Micele VanDuren, Zapata

MEMBERS ABSENT: Randall, Weller, Smart

STAFF PRESENT: Hofert, Director of Community & Economic Development
Smith, Assistant Director of Community & Economic
Development
Blair, Planner II
Dent, Recording Secretary

CALL TO ORDER

Chair Micele called the meeting to order at 7:00 PM.

A motion was made by Gilreath-Watts, supported by Zapata, to excuse Randall and Weller.

APPROVAL OF MINUTES

The minutes of August 15, 2023 were approved to stand as read.

APPROVAL OF AGENDA

The agenda was approved to stand as read.

PUBLIC COMMENT ON NON-PUBLIC HEARING AGENDA ITEMS

Micele opened the public comment period for non-public hearing agenda items at 7:01 PM.

There was no public comment and the hearing was closed.

AGENDA ITEM NO. 1

Request for a rezoning from B-3 Planned Shopping Business District to RO-1 Restricted Office District at 1091 Gezon Parkway SW (Section 35) (Great Lakes Community Developers)

Blair explained that the site is currently zoned B-3 Planned Shopping Business District and outlined the various uses of the surrounding land.

Blair said that Great Lakes Community Developers is requesting the parcel located at 1091 Gezon Parkway SW be rezoned from B-3 Planned Shopping Business District to RO-1 Restricted Office District. The parcel is currently substandard for the B-3 district, which requires a minimum lot area of 5 acres. He said that the parcel is currently 3.22 acres and rezoning the parcel to RO-1 would bring the parcel into conformance with Zoning Ordinance development standards and would be compatible with adjacent RO-1 uses to the north and south. Additionally, the property is intended to serve as a buffer between the residential uses to the west and more intense commercial uses to the east.

Blair said that if rezoned, the applicant intends to apply for a land division that would result in two child parcels of approximately 1.36 and 1.86 acres. Both child parcels would need to meet the development standards for the RO-1 district. Potential future uses at the site include a drive-through financial institution and medical office. Blair said while a medical office would be permitted in the RO-1 district by right, a financial institution with a drive-through is permitted in the RO-1 district with special use approval.

Section 90-516(6) establishes general review standards for rezonings:

(A) *Consistency with the adopted master plan;*

The City's Master Plan, Wyoming [re] Imagined was adopted in 2021. The future land use map identifies this parcel as "Corridor Commercial." Small office developments are included in this category, and the proposed zoning and uses are consistent with the future envisioned use.

(B) *Compatibility of the allowed uses with existing and future land uses;*

A medical office would be permitted by right under the desired future zoning designation, and a drive-through financial institution would be permitted with special use approval. The properties to the northwest and southwest of the subject parcel are currently zoned RO-1. The parcel to the northwest is a medical office providing counseling and therapy, and the parcel to the southwest is currently vacant. The desired future zoning designation would provide a buffer between the residential uses to the west and more intense commercial uses to the east and southeast.

(C) *Capability of the property to be served by public services;*

The property can be served by public utilities; however, utility services and locations are subject to strict restrictions according to the Engineering Department.

(D) *Ability of the property to be used as currently zoned; and*

The property's current B-3 zoning allows for medical offices and drive-through financial institutions by right; however, the parcel is substandard and would require variances from B-3 development standards to support future development.

(E) *Appropriateness of all uses allowed within the proposed district at the property location.*

The RO-1 zone district provides for a variety of office uses such as medical offices, financial institutions, and professional offices, as well as some commercial uses with special use approval, provided they occupy no more than 25% of the first-floor total square footage. The site is adjacent to an existing medical office that provides mental health support. The site is also adjacent to a multi-tenant development that includes medical offices and small commercial businesses such as a nail salon and home goods store. The RO-1 district does not include intense commercial uses, such as big-box stores, drive-through restaurants, or gas stations, which may not be appropriate in adjacency to existing residential and office uses around the site.

Blair shared the following staff comments:

(A) Process

At this point, Planning Commission is only considering the rezoning of this parcel, which is required before this development is eligible for the proposed land division. The process for this development is as follows:

- October 17 – Planning Commission considers rezoning request.
- November 6 – City Council hears the first reading of the rezone request.
- December 4 – City Council hears the second reading of the rezone request.
- January 16 – The first Planning Commission meeting where this development would be eligible for special use and site plan approvals.

(B) Engineering Specifications

Providing meaningful comments is impossible without a preliminary plan or proposed site development information. Engineering specifies the following:

1. No additional drives will be allowed along Gezon Parkway.
2. Strict locations will be required for any proposed drive along Pamer Hills Dr.
3. Utility services and locations are subject to strict restrictions.
4. Storm water requirements are subject to strict restrictions.

Blair shared that the proposed rezoning would allow necessary community amenities which will provide services such as medical and financial support for current and future Wyoming residents. Sustainability: The advancement and promotion, with equal priority, of environmental quality, economic strength, and social equity so that a stable and vibrant community can be assured for current and future generations.

Blair stated that the city had received two letters from residents stating concerns about traffic at this location should a development come forward. Blair informed the commissioners that the City's Public Works Department is planning to extend the center left turn lane through Palmer Hills Dr. as requested. Additionally, there will be a new east bound thru and right turn lane at Clyde Park to aid traffic at the intersection. The project was proposed for construction this year, but right of way acquisition slowed the project and delayed it until 2024.

Blair said that the Development Review Team recommends the Planning Commission grant the proposed rezoning request from B-3 Planned Shopping Business District to RO-1 Restricted Office District at 1091 Gezon Parkway SW and recommend the same to the City Council, subject to conditions 1-5 below:

1. No additional drives are permitted along Gezon Parkway.
2. Provide fire access lanes and fire truck turn radius to access any new development.
3. Provide fire hydrants as needed to protect new building development.
4. Provide Knox system access for fire department access.
5. Project must meet fire code requirements.

Micele opened the public hearing at 7:10 PM.

Marc Velthouse, 1134 Golfcrest, wanted to know if the entrance to the site would be at Palmer Hills or Gezon Parkway and if there would be a traffic light installed at the intersection of Palmer Hills and Gezon Parkway.

The public hearing was closed at 7:11 PM. Chair Micele invited the developer to speak.

Ryan Betts, Land & Resource Engineering, introduced himself and said that the drive to the site would be off of Palmer Hills per the City's Engineering department and one of the child parcels would be accessed by an existing drive.

A motion was made by VanDuren, supported by Zapata, to grant the proposed rezoning request from B-3 Planned Shopping Business District to RO-1 Restricted Office District at 1091 Gezon Parkway SW and recommend the same to the City Council.

Micele asked about the future traffic study scheduled for 2024 by the engineering department and wanted to know if that will include installing a light.

Hofert said that at this time there is no plan to install a traffic light at Palmer Hills and Gezon Parkway. The plan is to extend the left turn lane on Gezon and extend the right turn lane at Clyde Park..

VanDuren commented saying that these types of requested uses wouldn't generate as much traffic as another use like a grocery store.

Hofert confirmed that the current B-3 zoning of the parcel would allow for grocery stores and other more intense uses on the site. The requested rezone to RO-1 would restrict the use to

financial institutions, and medical offices which are lower producers of traffic.

A vote on the motion carried unanimously.

AGENDA ITEM NO. 2

Request to amend Zoning Code Section 90-331 “Standards For Mobile Food Vendors”
(Wyoming Planning Staff)

Smith provided background information saying that the ordinance surrounding food trucks that was adopted in 2020, following the outbreak of COVID-19, was crafted to provide the community with a well-regulated, yet efficient method of providing food at outdoor gatherings and impromptu events. As a city, we renew mobile food vendor licenses on an annual basis and endeavor to make any adjustments to those requirements before the start of the renewal period for the coming year. He said that these adjustments include changes like our recent fee structure adjustment or changes to the ordinances governing mobile food vendors, as we continue to learn about how mobile food vendors are operating in the community. This amendment is to revise the current ordinance in response to how we have observed current mobile food truck vendors currently parking their vehicles within the community.

Smith said that in recent months, City staff noticed an increase in the number of mobile food vendor vehicles parked on unrelated properties. City staff received complaints of mobile food vendor vehicles parked in the front yards or in the side yards of related properties. Currently, the zoning code provides limited guidance to Mobile Food Vendors about storing their vehicles, only stating that they may not be stored overnight in the same location that they operate.

Smith stated that City staff is recommending updating Section 90-331 Standards for Mobile Food Vendors, to include a subsection 90-331(10) that requires Mobile Food Vendor vehicles to be stored in the rear yard of a related business when not in operation. This amendment would provide more clarity to Mobile Food Vendors for storing their vehicles in the City of Wyoming when not in operation and addresses a pattern of resident complaints.

Smith said that the Development Review Team recommends that Planning Commission adopt the recommended text amendment to Zoning Code Section 90-331 Standards for Mobile Food Vendors and recommends the same to City Council.

Micele opened the public hearing at 7:18 PM. There was no public comment and the hearing was closed.

A motion was made by Hall, supported by Lamer, to adopt the recommended text amendment to Zoning Code Section 90-331 Standards for Mobile Food Vendors and recommend the same to City Council.

A vote on the motion carried unanimously.

AGENDA ITEM NO. 3

Request to amend Zoning Code Section 90-416A “Principal Permitted Uses in the R-4 Residential District,” Zoning Code Section 90-407B “Principal Permitted Uses in the B-2 General Business District,” Zoning Code Section 90-418B “Principal Permitted Uses in the RO-1 Restricted Office District,” and Zoning Code Section 90-508 “Requirements For Permitted Uses After Special Approval” (Wyoming Planning Staff).

Smith said that since its adoption, staff has been working to better align the City’s Zoning Code with current practices and terminology to make the Zoning Code easier to understand. Through this review process, staff has identified the outdoor play space, minimum lot size, and major thoroughfare requirements as being more restrictive than state law and nearby municipalities.

Smith explained that in the past year, City staff have received several inquiries about starting or expanding childcare in residential zones. In staff’s conversation with child care providers, they learned that the City’s requirements were much more restrictive than State law and nearby communities. He said that currently, the zoning code regulates childcare providers by size: Family Day Care Homes serving 6 or fewer children, Group Day Care Homes serving 7 to 12 children, and Child Care Centers serving 13 or more children. Family Day Care Homes are permitted by right in many of the City’s zone districts, but Group Day Care Homes and Child Care Centers are more commonly regulated through special land use approvals. City staff recommend updating the special land use requirements to remove the 15,000 square foot minimum lot size, set a minimum of 600 square feet of outdoor play space, and remove the requirement that the lot front upon a major thoroughfare. Smith said that in addition, staff recommends adding these same requirements to the zone districts where Group Day Care Homes and Child Care Centers are allowed by right, so the zoning code is consistent on this issue. Finally, staff recommends correcting a typo in the definition of Family Day Care Homes to clarify that the definition includes child care providers serving six or fewer children and to ensure that this definition matches the Michigan Zoning Enabling Act.

Smith stated that this recommendation reflects staff’s discussions with the State of Michigan about our current child care regulations and research into how nearby communities regulate child care providers in their zoning codes. The proposed changes bring us into alignment with the State’s requirements and those of nearby municipalities. The proposed amendments should ease the regulatory burden for childcare providers seeking suitable locations in Kent County and should increase access to child care services in the City of Wyoming.

Smith said that the Development Review Team recommends that Planning Commission adopt the recommended text amendments to Zoning Code Section 90-416A “Principal Permitted Uses in the R-4 Residential District,” Zoning Code Section 90-407B “Principal Permitted Uses in the B-2 General Business District,” Zoning Code Section 90-418B “Principal Permitted Uses in the RO-1 Restricted Office District,” and Zoning Code Section 90-508 “Requirements For Permitted Uses After Special Approval” and recommend the same to City Council.

Micele opened the public hearing at 7:23 PM. There was no public comment and the public hearing was closed.

A motion was made by Gilreath-Watts, supported by Zapata, to adopt the recommended text amendments to Zoning Code Section 90-416A “Principal Permitted Uses in the R-4 Residential District,” Zoning Code Section 90-407B “Principal Permitted Uses in the B-2 General Business District,” Zoning Code Section 90-418B “Principal Permitted Uses in the RO-1 Restricted Office District,” and Zoning Code Section 90-508 “Requirements For Permitted Uses After Special Approval” and recommend the same to City Council.

Gilreath-Watts asked if the same zoning codes apply to adult day care uses.

Smith said that the State of Michigan regulates that type of use differently as does the City of Wyoming.

A vote on the motion carried unanimously.

OLD BUSINESS

NEW BUSINESS

INFORMATIONAL

Learning & Growth

Hofert updated the Commissioners on the City Center Project and the 36th St. Marketplace.

Hofert said that for November’s Learning & Growth, Krashawn Martin, Parks and Recreation Director, will be giving an update on the 5-year Parks & Recreation master plan.

There was general conversation among the Commissioner’s and staff regarding Site 36.

A motion was made by Lamer, supported by Zapata, to excuse Smart.

PUBLIC COMMENT

Micele opened the public hearing at 7:29 PM. There was no public comment and the public hearing was closed.

Zapata asked about an update on The Pines project.

Hofert said that it was staff's understanding that the developer has delayed construction and the course will be open next year.

ADJOURNMENT

The meeting was adjourned at 7:30 PM.

Audrey Zapata, Secretary
Wyoming Planning Commission

Ashley Dent, Recording Secretary
Wyoming Planning Commission

WYOMING PLANNING COMMISSION
AGENDA ITEM
NO. 1

DATE DISTRIBUTED: November 14, 2023

PLANNING COMMISSION DATE: November 21, 2023

ACTION REQUESTED: Special Use and Site Plan Approval Request for Supportive Housing Program

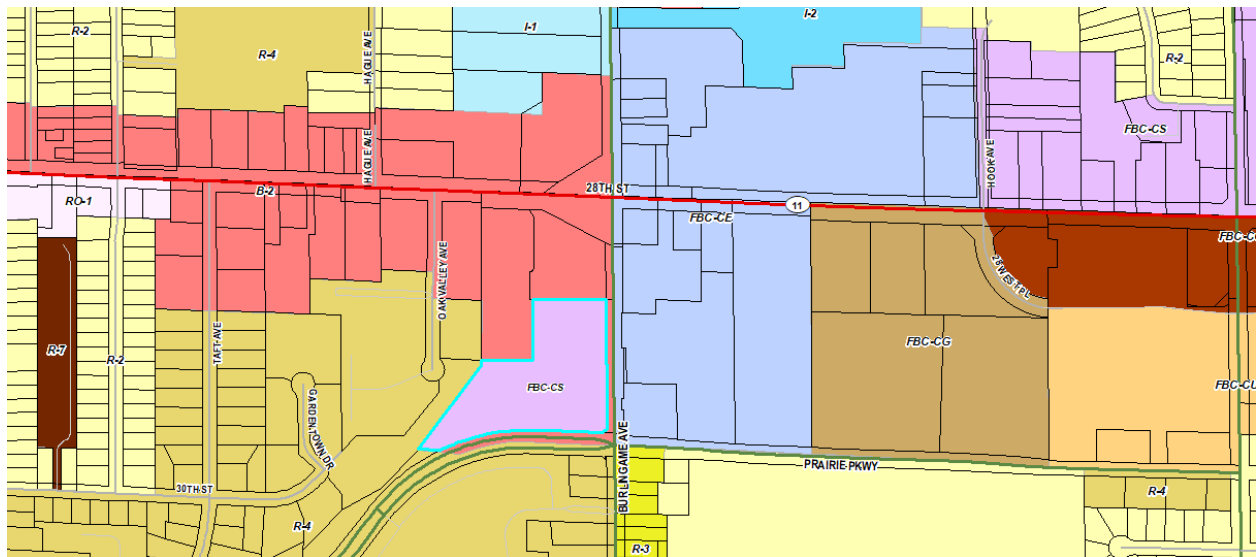
REQUESTED BY: Woda Cooper Development, Inc. and Cherry Street Services, Inc.

REPORT PREPARED BY: Paul Smith, Assistant Director of Community & Economic Development

GENERAL LOCATION DESCRIPTION:

The 6.38 acre property is located at the northwest corner of Burlingame Avenue and Prairie Street. The address is 2929 Burlingame Avenue SW.

EXISTING ZONING CHARACTERISTICS:



This site is currently zoned FBC-CS Form Based Code Corridor Suburban. Zoning surrounding the property follows:

- North: B-2 General Business
- South: R-4 Multifamily Residential
- East: FBC-CE Form Based Code- Corridor Edge
- West: B-2 General Business and R-4 Multifamily Residential

EXISTING LAND USE:



The site is currently being used by Cherry Health as a health clinic. The surrounding land uses are as follows:

- North: Family Fare Quick Stop gas station, Wendy’s drive-through restaurant, and Gerber Collision & Glass
- South: Single-family and multi-family homes
- East: Family Fare Grocery Store
- West: Multi-family homes

PROJECT INFORMATION:

Cherry Health Medical Center is proposing to develop its own residential community called Shea Ravines at 2929 Burlingame Avenue SW. The development would include two new buildings with housing provided for households earning between 30% and 80% of the area median income. The buildings will also include permanent supportive housing units for the top 10% of the Continuum of Care’s prioritization list and households of chronically homeless. The project will be developed in two phases, with the first phase consisting of a 4-story building with 40 one-bedroom units and 16 two-bedroom units. These units will be divided into 36 general occupancy units and 20 permanent supportive housing units. Phase II would be developed at a later date with a similarly sized building, unit counts, and occupancy designations. Cherry Health would continue to operate their existing medical clinic within their existing building on site, serving as a supportive resource for those residing in Shea Ravines. The warehouse at the rear of the Cherry Health facility will be taken down to accommodate parking, recreation areas, and stormwater.

CONFORMANCE WITH ORDINANCE STANDARDS AND FINDINGS OF FACT:

Two separate actions are required. The first is regarding the special approval request and the second relates to review of the site plan. The standards are addressed as follows:

Section 90-507(3) establishes general review standards for special approval uses:

- (a) *The possible substantial and permanent adverse effect on neighboring property.*

The proposed use is not expected to cause any adverse impact on the neighboring properties. There are a number of multifamily housing developments along the Prairie Parkway corridor and the Good Neighbor Plan is intended to address any potential localized adverse effects.

- (b) *The consistency with the spirit, purpose and intent of this chapter.*

The proposed use would be consistent with the overall purpose of the zoning ordinance, as stated in Section 90-101.

- (c) *The possible adverse effect upon traffic as related to the streets, churches, schools and any buildings within the immediate area.*

The proposed use is not expected to have an adverse effect upon existing roads and traffic patterns. Signal timing at Burlingame Avenue and Prairie Parkway may be affected and the required traffic impact analysis will provide our Engineering Office with the necessary information to make those adjustments.

- (d) *The tendency of the proposed use to create any type of blight within the immediate area.*

It is unlikely that the proposed use will create blight within the immediate area. Many hallmarks of blight are specifically addressed in the Good Neighbor Plan.

- (e) *The economic feasibility for the area.*

The proposed use is economically feasible for the area.

- (f) *Any other factor as may relate to the public health, safety and welfare for persons and property.*

The addition of the proposed use is not expected to cause a negative public health effect on the surrounding area.

- (g) *That all other provisions of this chapter are met for the proposed use.*

The supportive housing ordinance requires the program operator to submit a Good Neighbor Plan to the City Planner on an annual basis. The standards for this plan will be addressed in the following section of this report.

The supportive housing ordinance distinguishes between emergency shelters, permanent supportive housing, and transitional housing. Based on the Good Neighbor Plan, the applicant intends to provide permanent supportive housing and has selected a lead service agency to provide the appropriate supportive services. These supportive housing units will be available to chronically homeless persons from the Continuum of Care registry.

Exceeding the supportive housing requirements, this development is located within one quarter mile of a dedicated transit stop and a medical clinic is available on-site

Section 90-417A allows for Supportive Housing Program for more than 10 individuals in FBC-CS after special use approval. Section 90-333 requires that all Supportive Housing programs submit a Good Neighbor Plan to the City Planner on an annual basis. Section 90-207 specifies the required components of a Good Neighbor Plan:

- *Documentation of communications with neighboring businesses and residents;*

The developer mailed residents within approximately 0.3 miles of the project site to invite them to a community meeting held at the Wyoming Public Library on October 18. A subsequent mailing was sent to invite residents to a second community meeting on October 30. The developer had staff available to answer questions at both meetings.

- *Policies for addressing neighborhood concerns;*

No specific concerns are identified in this portion of the Good Neighbor Plan. The applicant does discuss the importance of property maintenance staff developing a good working relationship with City of Wyoming staff.

- *List of rights and responsibilities for residents, when applicable;*

The developer lists a number of community guidelines and lease requirements. The developer did not provide a list of residents' rights.

- *Policy for loitering;*

The developer has a designated several areas on the site for outdoor recreation and gathering. Loitering elsewhere will be enforced according the "Policy regarding trespass/criminal trespass" by staff.

- *Policy for litter;*

The developer's "Policy regarding exterior curb appeal" directs staff to walk the property on a daily basis to identify litter and other exterior concerns. Staff will address any issue through maintenance or cleanup. Staff will notify residents of any personal property that may be collected during these cleanup efforts.

- *Policy for crime prevention and awareness;*

The developer plans to use building access controls and video surveillance cameras to curb crime.

- *Policy for landscape maintenance;*

The developer plans to employ maintenance staff to address landscape maintenance.

- *Description of supportive services, when applicable;*

The developer has designated Community Rebuilders to serve as the lead service agency for the supportive housing units. On-site services will be available 20 hours per week, including but not limited to: tenant stabilization, building support systems, basic tenant needs, benefit assistance, employment related services, physical and mental health,

independent living skills, and linkage to other necessary services.

- *Description of services provided for children, when applicable; and*
Community Rebuilders, as the lead service agency, will coordinate services for children as needed through local partnerships.
- *List of partners providing supportive services.*

The developer and Community Rebuilders plan to partner with or provide referrals to: West Michigan Works, Grand Rapids Housing Commission, Arbor Circle, Fair Housing Center of West Michigan, Hope Network, Family Promise of West Michigan, Well House, Community Food Club, Head Start for Kent County, Kent School Service Network, and others.

Section 90-505 specifies the standards to apply to site plan review:

- (1) *Adequacy of information. The site plan shall include all required information in sufficiently complete and understandable form to provide an accurate description of the proposed use(s) and structure(s).*

The site plan contains an appropriate amount of detail to sufficiently understand the proposed development.

- (2) *Buildings. Buildings and structures shall meet the minimum dimensional requirements of this article. Redevelopment of nonconforming structures shall bring the site into closer conformity to the extent deemed practical by the review authority. Expansions to nonconforming buildings shall be as provided for in section 90-903.*

The plan meets the minimum dimensional requirements.

- (3) *Privacy. The site design shall provide reasonable visual and sound privacy for dwelling units located adjacent to the site. Walls, berms, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of adjacent uses.*

The plan meets minimum requirements. There are no dwelling units adjacent to the site.

- (4) *Preservation of natural areas. The landscape shall be preserved in its natural state, insofar as practicable, by strategic building placement, minimizing tree and soil removal, alteration to the natural drainage courses, and the amount of cutting, filling and grading. Insofar as practical, natural features and the site topography shall be incorporated into the proposed site design.*

Existing natural features will not be affected.

- (5) *Drainage. Stormwater management system and facilities shall preserve natural drainage characteristics and enhance the aesthetics of the site to the maximum extent possible, and shall not substantially reduce or increase the natural retention or storage capacity of any*

wetland, water body, or watercourse, or cause alterations which could increase flooding or water pollution on or off the site.

Adequate stormwater management will be provided at the site and this item is addressed in the conditions for approval.

- (6) *Soil erosion. Measures are included to prevent soil erosion and sedimentation.*

Appropriate measures are provided.

- (7) *Ingress and egress. Every structure and dwelling unit shall be provided with adequate means of ingress and egress via public streets and walkways. Access to the site shall be located and designed to ensure minimal impact on the safety and efficiency of traffic flow along all adjoining roadways. All access points shall comply with the access management requirements of section 90-603.*

Adequate ingress and egress are provided.

- (8) *Emergency vehicle access. All buildings and site circulation shall be arranged to permit emergency vehicle access by practicable means to all buildings and areas of the site.*

Adequate circulation and emergency vehicle access are provided.

- (9) *Vehicular circulation layout. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian pathways in the area. Public streets adjacent or through the proposed development shall be required when it is essential to promoting and protecting public health, safety and general welfare and to provide continuity to the public road system.*

No internal streets are proposed.

- (10) *Pedestrian circulation. The site plan shall provide a pedestrian circulation system which is insulated as completely as is reasonably possible from the vehicular circulation system.*

The site provides limited pedestrian circulation.

- (11) *Traffic impact. The expected volume of traffic to be generated by the proposed use shall not adversely affect existing roads and traffic patterns. Roadway access shall minimize excessive vehicle traffic on local residential streets to reduce the possibility of any adverse effects upon adjacent property. Projects expected to have 50 or more peak hour directional trips or 500 or more vehicle trips daily shall provide a traffic impact study, as outlined in subsection 90-504(3), above.*

The proposed use is not expected to have an adverse effect upon existing roads and traffic patterns. Signal timing at Burlingame Avenue and Prairie Parkway may be affected and the required traffic impact analysis will provide our Engineering Office with the necessary information to make those adjustments.

- (12) *Public services. The scale and design of the proposed development shall facilitate the adequate provision of services currently furnished by or that may be required of the city or other public agency including, but not limited to, fire and police protection, stormwater*

management, sanitary sewage removal and treatment, traffic control and administrative services.

The proposed development can be served by the existing services and utilities.

- (13) Site redevelopment. Redevelopment of existing sites shall conform to the site improvement provisions of this article to the extent deemed practical by the reviewing authority. The extent of upgrade to site improvements shall be relative to and proportionate with the extent of redevelopment or expansion in accordance with the nonconforming site requirements of section 90-903.*

All site development standards will be met.

STAFF COMMENTS:

(A) Transitional Housing Text Amendment

In December 2022, the Wyoming Planning Commission approved a text amendment to allow for transitional housing. That text amendment had its first reading in January and was approved at the City Council meeting in February. This text amendment was crafted with the input of both City Council and Planning Commission, and it allows supportive housing to be located in any Form Based Code zoning district following special use approval.

(B) Process

This parcel was rezoned to FBC-CS on September 5, 2023. Now, the developer is applying for special use and site plan approval. If granted, the next step would be applying for building permits and undergoing a plan review by our Inspections team.

(C) Analysis of Impediments (AI) to Housing Choice and Housing Needs Assessment (HNA)

The city's 2019 AI and HNA did not identify any shelters or offices of homeless services within the City's borders. Since its adoption, the City has granted special use/site plan approval for a transitional and supportive housing center at 2244 Porter Street SW. The AI recognized that Wyoming is an active participant in the continuum of care providing homeless services, but identified this as an issue that "may warrant more focused attention."

(D) Location

This property is located near a Family Fare grocery store, a gas station, Wyoming public schools, numerous commercial businesses, and a public park. The newly proposed City Center trail system also runs adjacent to the site along Prairie Parkway, providing increased non-motorized mobility opportunities throughout the greater Wyoming area. All of these resources are within walking distance, but there are also Rapid bus stops along Burlingame located adjacent to the parcel. The Cherry Health medical center on site is also expected to remain in operation, providing additional health services to the future residents. If this site is developed to include affordable and permanent supportive housing, the proximity of the amenities, services, and employment opportunities will be important components.

RECOMMENDED CONDITIONS TO APPROVAL:

The Development Review Team recommends the following conditions of approval:

1. Ensure proper setback distances are met and provide notation on the site plan.
2. Clarify how existing drives onto site along north property line are addressed with the construction. Provide rights to access neighboring property if needed.
3. Provide a Traffic Impact Analysis for the project. Include impacts for Prairie Parkway and Burlingame Ave, along with Burlingame Ave and 28th Street.
4. All drive entrances shall be radius drive approaches meeting City of Wyoming standards and have a minimum 30 radii.
5. Southern drive entrance on Burlingame shall be right in right out only. Similar requirement for Prairie Parkway drive entrance.
6. Show design vehicle tire templates throughout the site.
7. Show existing utilities for the existing building(s).
8. Clarify how existing easements throughout the site are addressed.
9. Clarify how access to Cell Tower will be addressed.
10. Provide a completed LGROW design spreadsheet for the site.
11. Provide an SESC and grading plan.
12. Provide the following stormwater calculations:
 - a. Map of drainage subcatchments.
 - b. Table detailing subcatchment areas, times of concentration, rainfall intensities, and peak runoff, as well as pipe capacities, flows, velocities, and hydraulic gradelines.
 - c. Detention/retention storage capacities and outlet calculations, if applicable.
13. After construction is complete, Engineering requires the following:
 - a. As-built plans detailing utilities and sewer, grading and floodways (point elevations), and storage volumes, if applicable.
 - b. An engineer's stormwater certification guaranteeing that the stormwater system was constructed as designed.

14. A stormwater maintenance agreement signed by the property owner detailing how the stormwater system will be maintained. A draft agreement must be approved before construction.
15. Provide fire hydrants as needed based on city hydrant spacing and standpipe requirements if required.
16. Fire lane requirements will need an aerial access lane on longest side of the building at least 26 feet wide of the 4 story buildings and minimum of 20 feet wide fire lanes on the balance of the drives.
17. Must meet fire truck turn radius based on city fire requirements.
18. Must provide Knox access systems on the building.
19. Must meet all fire codes through full plan review.
20. Must meet private frontage standards under the Form Based Code.
21. The proposed development requires the issuing of a new address before the Inspections Department will issue permits.

CONFORMANCE WITH THE CITY OF WYOMING SUSTAINABILITY PRINCIPLES:

Sustainability: The advancement and promotion, with equal priority, of environmental quality, economic strength, and social equity so that a stable and vibrant community can be assured for current and future generations.

The proposed permanent supportive housing will provide more housing opportunities at an affordable price for current and future Wyoming residents, and it will address a need for permanent supportive housing in Wyoming.

PLANNING COMMISSION ACTION:

The Development Review Team recommends the Planning Commission the supportive housing special land use request and, in a separate motion, approve the site plan, subject to conditions 1-21.

DEVELOPMENT REVIEW TEAM:

Myron Erickson, Director of Public Works

Lew Manley, Building Official

Kimberly Koster, Director of Public Safety

Nicole Hofert, Director of Community and Economic Development



Shea Ravines Project Narrative

Woda Cooper Development, Inc. (“WCD”) and Cherry Health (“CH”) plan to develop and own this residential community utilizing the Low-Income Housing Tax Credits (LIHTC) issued by the Michigan State Housing Development Authority (“MSHDA”). The proposed plan is to submit a LIHTC application in the December 1, 2023 funding round as a 9% LIHTC application. The application will be submitted as a general occupancy and permanent supportive housing deal targeting households between 30% Area Median Income (“AMI”) and 80% AMI. Permanent Supportive Housing units will target the top 10% of the Continuum of Care (CoC) registry and households of chronically homeless. The permanent supportive housing units would receive Project-Based Vouchers from the Grand Rapids Housing Commission. The project name for the development is Shea Ravines.

Development concept

Shea Ravines is located at 2929 Burlingame Ave. SW in Wyoming, Michigan. The project will be developed in two (2) phases. The first phase includes one 4-story building design consists of 40 one-bedroom units and 16 two-bedroom units. There will be 36 general occupancy units and 20 permanent supportive housing units. The estimated building gross square feet is 56,256 while the net square footage is 51,922. The total gross and net square footage includes the common areas and residential units. Preliminary residential unit square footage estimates are as-follows: One-bedroom units will be 682 gross square feet per unit, and the two-bedroom units will be 912 gross square feet per unit. Each floor will be accessible via elevator and stairs. The building will be 100% visitable to aid residents and guests who are mobility impaired. 10% of the units will be ADA compliant and accessible. Parking will be adjacent to the building. We plan to utilize the same development concept and unit mix for the second phase of the development. The second phase residents will also have access to the exterior community amenities built in the first phase. It’s anticipated that both Phase I and Phase II will include 1.5 parking spaces per unit. Therefore, each phase will include 84 parking spaces for a total of 168 parking spaces. It’s anticipated that the Cherry Health Medical Center will have 81 parking spaces. The warehouse portion of the medical center will be demolished while the main Cherry Health Medical Center will remain in operation throughout construction. A RAPID (Suburban Mobility Authority for Regional Transportation) bus stop in front of the site and several within walking distance from the site. There is also a GO! Bus for residents with disabilities and seniors aged 65 and older. The site plan will be updated as we receive input from the City of Wyoming.

The location of Shea Ravines is ideal for general occupancy and permanent supportive housing due to the close proximity to supportive service providers, restaurants, retail, medical offices, and recreational areas. An abundance of employment opportunities surrounds the site with entry level jobs, full and part time retail/service jobs as well as several volunteer opportunities. The walkable and bikeable immediacy of amenities, jobs, and life-enriching activities make the site ideal for active residents.

The conceptual plan for Shea Ravines is comprehensive and appealing for active modern lifestyles. Unit amenities include open floor plans with microwaves, dishwashers, frost-free refrigerators, self-clean oven, central air conditioning, washer/dryer hook-ups, as well as energy efficient “green” features such as abundant insulation, energy efficient windows and Energy Star appliances (as available). Community features will include a community room with a kitchenette, restrooms, common laundry, fitness center, property manager’s office, package room, permanent supportive housing offices for the service providers and case management. Outdoor amenities include a playground, dog park, a large patio with a grill and picnic area. It is expected that the property will qualify for LEED Zero Energy or similar certification.

The development will set aside units for residents earning up to 80% of the Area Median Income (“AMI”). 35.71% of units (20) will be targeted to 30% AMI, 21.43% of units (12) will be targeted to 40% AMI, 42.86% of units (24) will be targeted to 80% AMI. These AMI restrictions will be spread out between the unit types. The project will be deed restricted to maintain these affordability levels for period of 45 years. The development anticipates utilizing 20 Section 8 Project-Based Vouchers for the Permanent Supportive Housing units. The Owner will pay for all utilities on PSH units per MSHDA guidelines. For all General Occupancy units: tenants will pay water, sewer, electric for lighting, cooking, and air conditioning as well as gas for heat and hot water plus any charges for telephone, cable television, or internet. The Owner will pay for trash collection.

Permanent Supportive Housing Target Population

The 20 PSH units will be set aside for the Top 10% of Continuum of Care's Prioritization List and Households of Chronically Homeless.

Proposed Development Team

- **Project Owner:** Shea Ravines Limited Dividend Housing Association Limited Partnership (Woda Cooper Companies, Inc. and Cherry Health will be owners of the General Partner)
- **Developer:** Woda Cooper Development, Inc.
 - **Contacts:** P. Craig Patterson (Senior VP), Gregory Mustric (VP)
- **Co-Developer and Service Provider:** Cherry Health
 - **Contacts:** Tasha Blackmon (President and CEO), Bill Joure (COO)
- **General Contractor:** Woda Construction, Inc.
- **Property Manager:** Woda Management & Real Estate, LLC
- **Legal Counsel:** Reno & Cavanaugh PLLC
- **Green Consultant:** Sol Design & Consulting
- **Lead Service Agency (Permanent Supportive Housing Service Provider):** Community Rebuilders, Inc.



Woda Cooper Companies

SHEA RAVINES APARTMENTS

Wyoming, Michigan

11.14.2023

CONCEPTUAL SITE PLAN

PHASE 1:

PARCEL SIZE: 149,935 SF +/- (3.442 ACRES)

BUILDING SQUARE FOOTAGE PER BUILDING

1ST FLOOR: 14,064 GSF
2ND FLOOR: 14,064 GSF
3RD FLOOR: 14,064 GSF
4TH FLOOR: 14,064 GSF
TOTAL: 56,256 GSF

UNIT MIX PER BUILDING:

1BD (682 GSF): 40 UNITS (72%)
2BD (912 GSF): 16 UNITS (28%)
TOTAL: 56 UNITS (100%)

PARKING COUNT:

REQUIRED: 2 SPACES PER UNIT (ZONING TABLE 90-600)
56 UNITS X 2 SPACES = 112 SPACES

PROVIDED: 56 SPACES

- 50% REDUCTION PER FBC 90-1903

- PER 90-1903A / 90-1903D PARKING CAN BE REDUCED AS THERE IS SHARED PARKING WITH STAGGERED PEAK HOURS AND MASS TRANSIT IS AVAILABLE WITHIN 300' OF SITE.

PHASE 2:

PARCEL SIZE: 57,389 SF +/- (1.317 ACRES)

BUILDING SQUARE FOOTAGE PER BUILDING

1ST FLOOR: 14,064 GSF
2ND FLOOR: 14,064 GSF
3RD FLOOR: 14,064 GSF
4TH FLOOR: 14,064 GSF
TOTAL: 56,256 GSF

UNIT MIX PER BUILDING:

1BD (682 GSF): 40 UNITS (72%)
2BD (912 GSF): 16 UNITS (28%)
TOTAL: 56 UNITS (100%)

PARKING COUNT:

REQUIRED: 2 SPACES PER UNIT (ZONING TABLE 90-600)
56 UNITS X 2 SPACES = 112 SPACES

PROVIDED: 56 SPACES

- 50% REDUCTION PER FBC 90-1903

- PER 90-1903A / 90-1903D PARKING CAN BE REDUCED AS THERE IS SHARED PARKING WITH STAGGERED PEAK HOURS AND MASS TRANSIT IS AVAILABLE WITHIN 300' OF SITE.

CHERRY HEALTH FACILITY:

PARCEL SIZE: 63,770 SF +/- (1.464 ACRES)

BUILDING SQUARE FOOTAGE PER BUILDING

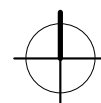
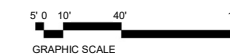
1ST FLOOR: 16,100 GSF +/-
TOTAL: 16,100 GSF +/-

PARKING COUNT:

REQUIRED: 1 SPACE PER 200 SF (ZONING TABLE 90-600)
16,100 SF / 200 = 81 SPACES

PROVIDE: 81 SPACES





CONCEPTUAL SITE PLAN



CONCEPTUAL FIRST FLOOR PLAN



CONCEPTUAL UPPER FLOOR PLAN



CONCEPTUAL FLOOR PLAN



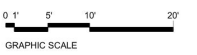
FRONT ELEVATION



REAR ELEVATION



REAR ELEVATION



CONCEPTUAL EXTERIOR ELEVATIONS



CONCEPTUAL EXTERIOR ELEVATIONS



CONCEPTUAL EXTERIOR ELEVATIONS

7



CONCEPTUAL EXTERIOR ELEVATIONS

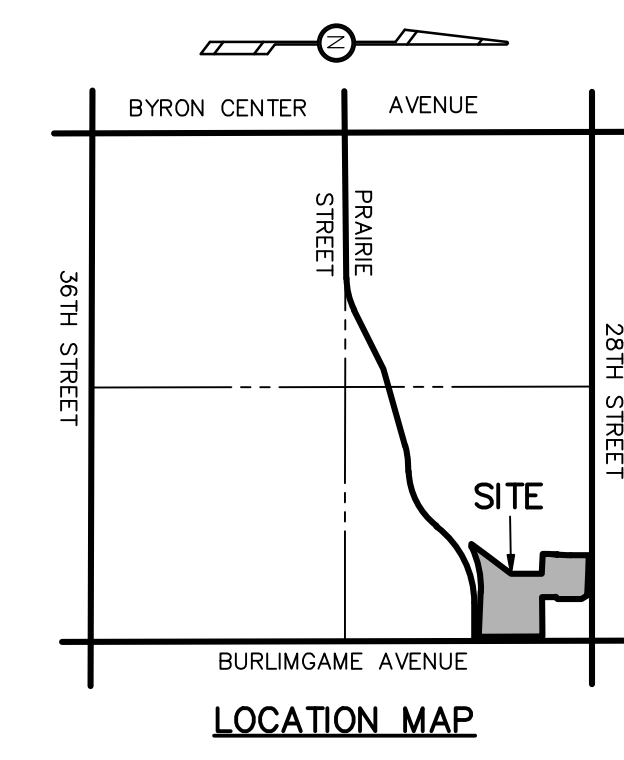
8

PROPERTY LINE ESTABLISHED IN BOUNDARY LINE AGREEMENT PER LIBER 2089, PAGE 1052

BENCHMARK #5 ELEV. 664.02 (NAVD88) TOP OF NE FLANGE BOLT ON HYDRANT, NORTH SIDE PRAIRIE PARKWAY, 260'± WEST OF C/L BURLINGAME AVENUE

BENCHMARK #6 ELEV. 656.77 (NAVD88) TOP OF NE FLANGE BOLT ON HYDRANT, NORTH SIDE PRAIRIE PARKWAY, 650'± WEST OF C/L BURLINGAME AVENUE

PRELIMINARY



Land in the City of Wyoming, Kent County, MI, described as follows:

PARCEL 1: (PROPOSED OPTION PARCEL)
That part of the Northeast 1/4, Section 15, Town 6 North, Range 12 West, City of Wyoming, Kent County, Michigan described as: Commencing at the Northeast corner of Section 15; thence South 00°22'00" East 570.32 feet along the East line of said Northeast 1/4 to the place of beginning of this description; thence South 89°38'00" West 244.04 feet; thence South 00°22'00" East 117.71 feet; thence South 89°44'56" West 313.69 feet; thence South 00°01'00" East 20.17 feet; thence South 36°53'00" West 442.34 feet to the North line of the South 1.571.60 feet of said Northeast 1/4; thence South 87°37'30" East 25.72 feet along an established boundary line per Liber 2089, Page 1052; thence Northeasterly 416.34 feet along the Northerly right of way line of Prairie Parkway on a 850.00 foot radius curve to the right, the chord of which bears North 78°20'34" East 412.19 feet; thence South 87°37'30" East 396.14 feet along said Northerly line; thence North 00°22'00" West 428.83 feet along the centerline of Burlingame Avenue and the East line of said Northeast 1/4 to the place of beginning.

PARCEL 2: (PROPOSED PARCEL "A")
That part of the Northeast 1/4, Section 15, Town 6 North, Range 12 West, City of Wyoming, Kent County, Michigan described as: Commencing at the Northeast corner of Section 15; thence South 00°22'00" East 433.32 feet along the East line of said Northeast 1/4 to the place of beginning of this description; thence South 00°22'00" East 137.00 feet along said East line, thence South 89°38'00" West 244.04 feet; thence South 00°22'00" East 117.71 feet; thence South 89°44'56" West 95.96 feet; thence North 00°22'00" West 254.52 feet; thence North 89°38'00" East 340.00 feet to the place of beginning.

Notes Corresponding the Title Commitment No. 946771, Schedule B, Section II

- Exception (10) Subject to the terms, Covenants and Conditions of a boundary line agreement as set forth in Liber 2089 of Deeds, Page 1052, Kent County Records, as to Parcel 1. (shown hereon)
- Exception (12) Subject to an easement in favor of Consumers Power Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 56 of Miscellaneous Records, page 236 and 248, Kent County Records. (shown hereon)
- Exception (13) Subject to a sidewalk Easement in favor of City of Wyoming and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 2003 of Deeds, page 611; in Liber 2003 of Deeds, Page 711 and in Liber 2015 of Deeds, Page 242, Kent County Records, as to Parcel 1. (shown hereon)
- Exception (14) Subject to a highway easement in favor of City of Wyoming and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 2091 of Deeds, page 1219, Kent County Records, as to Parcel 2. (shown hereon)
- Exception (15) Subject to a public utilities easement and right of way as set forth in Liber 2147 of Deeds, Page 527 and amended in Liber 2372 of Deeds, Page 99, as to Parcel 1 and Liber 2372 of Deeds, page 100. (shown hereon)
- Exception (16) Subject to the terms, Covenants and Conditions of an easement and restriction agreement as set forth in Liber 2377 of Deeds, Page 1337. (shown hereon)
- Exception (17) Subject to an easement in favor of Michigan Bell Telephone Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 2461 of Deeds, page 1299, and First Amendment to Easement recorded in Instrument No. 20070126-0010437. (shown hereon)
- Exception (18) Subject to an easement in favor of City of Wyoming and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 5104, page 212, Kent County Records, as to Parcel 2. (shown hereon)
- Exception (19) Subject to an easement in favor of Consumers Energy Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Instrument No. 20080417-0037537, Kent County Records. (the easement area is within owners land and is described as: a 10 foot wide strip of land, being 5 feet on each side of the centerline of the underground electric line as constructed, exact location cannot be determined from provided documents but appears to run on the North side of building #2929).
- Exception (20) Subject to an easement and Assignment of Lease Agreement in favor of Landmark Infrastructure Holdings Company LLC and the Covenants, Conditions and Restrictions contained in instrument recorded in Instrument No. 20130927-0100176. (shown hereon)

SURVEYOR'S CERTIFICATE

To: KMF Classic, LLC, a Michigan limited liability company
Cherry Street Services, Inc.
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 4, 7(a), 8, 9 and 13 of Table A thereof. The field work was completed on December 16, 2021.

December 16, 2021

Cameron Reid Lear
Cameron Reid Lear, P.S. 4001067176

PRELIMINARY

Notes:

1. Bearings are based on the East line of the NE 1/4, Section 15 = S00°22'00"E.
2. This parcel is directly accessed by Burlingame Street.
3. Legal Descriptions and recorded easement information is based on First American Title Insurance Company, Commitment No. 946771, with an effective date of August 31, 2021.
4. Utility structures visible on the ground surface along with underground utilities located by Miss Dig have been shown per actual measurements.
5. Surveyed parcel contains 6.87 acres.

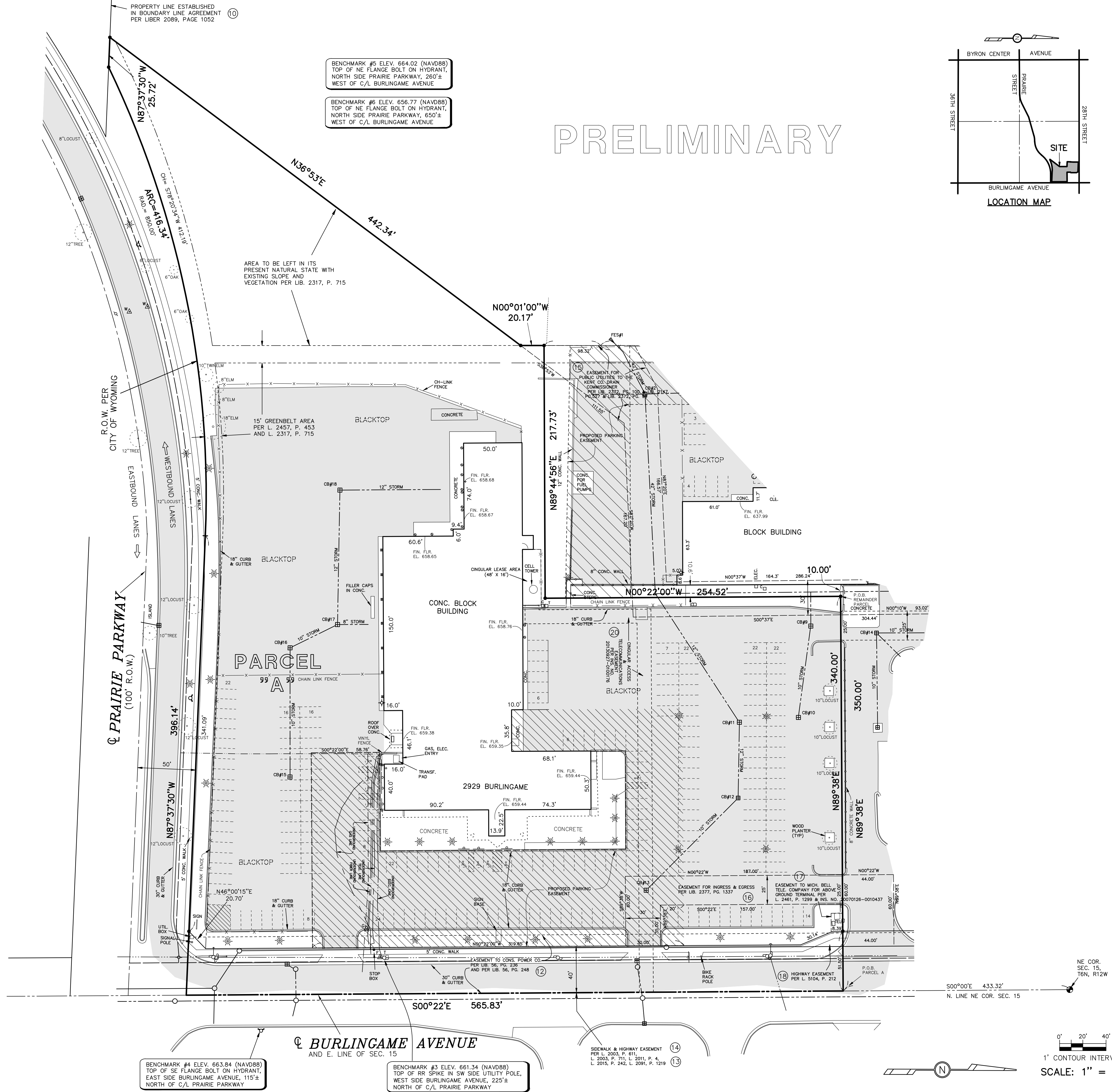
ALTA SURVEY
2929 BURLINGAME AVENUE
FOR: CHERRY STREET SERVICES, INC.
ATTN: BILL JOURE
100 CHERRY ST. SE,
GRAND RAPIDS, MI 49503
PART OF THE NE 1/4, SECTION 15, T6N, R12W, CITY OF WYOMING, KENT COUNTY, MICHIGAN

exxel engineering, inc.
planners · engineers · surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 www.exxelengineering.com

DRAWN BY: CL
APPROVED BY: CL
FILE NO.: S212173

PROJ. ENG.: CL
PROJ. SURV.: CL
DATE: 12/16/2021

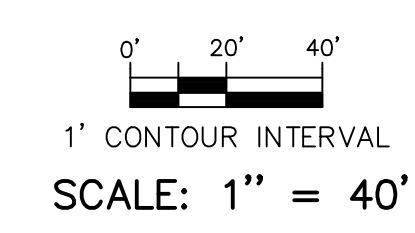
SHEET 1 of 6



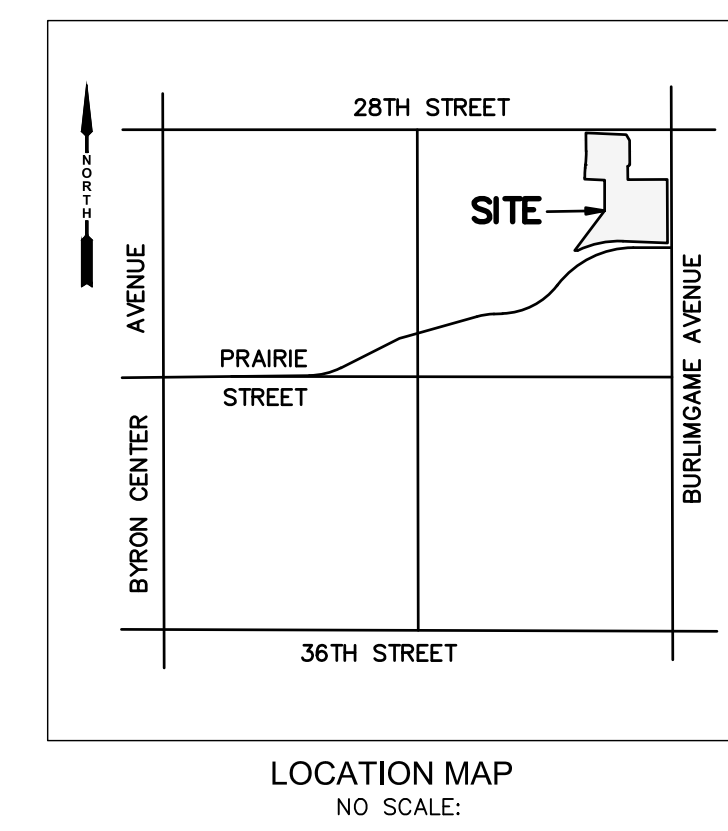
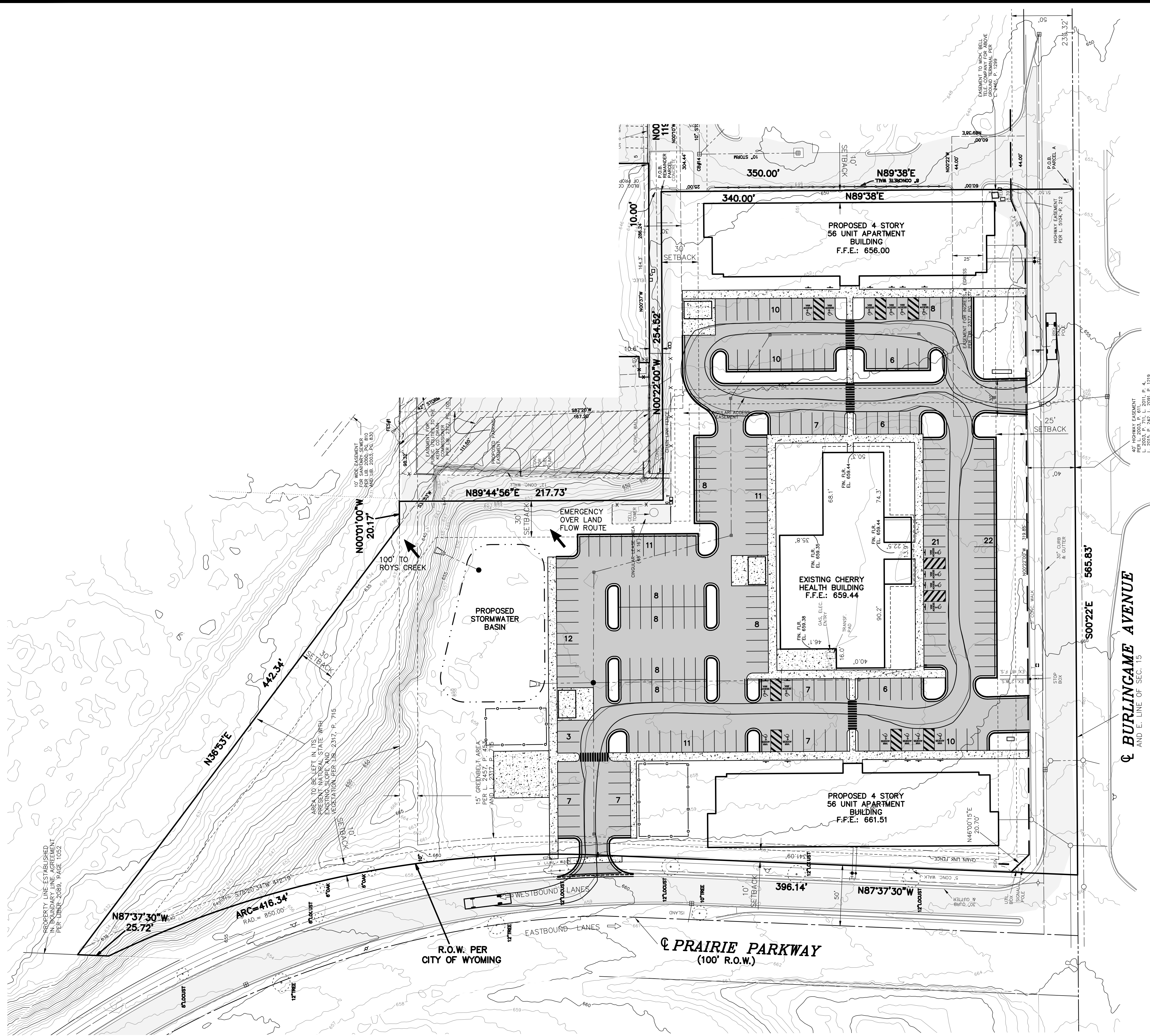
BENCHMARK #4 ELEV. 663.84 (NAVD88) TOP OF SE FLANGE BOLT ON HYDRANT, EAST SIDE BURLINGAME AVENUE, 115'± NORTH OF C/L PRAIRIE PARKWAY

BENCHMARK #3 ELEV. 661.34 (NAVD88) TOP OF RR SPIKE IN SW SIDE UTILITY POLE, WEST SIDE BURLINGAME AVENUE, 225'± NORTH OF C/L PRAIRIE PARKWAY

SIDEWALK & HIGHWAY EASEMENT PER L. 2003, P. 611, L. 2003, P. 711, L. 2011, P. 4, L. 2015, P. 242, L. 2091, P. 1219



SCALE: 1" = 40'



PLAN SCALE: 1" = 40'

Know what's below.
Call before you dig.

PLAN REVISIONS

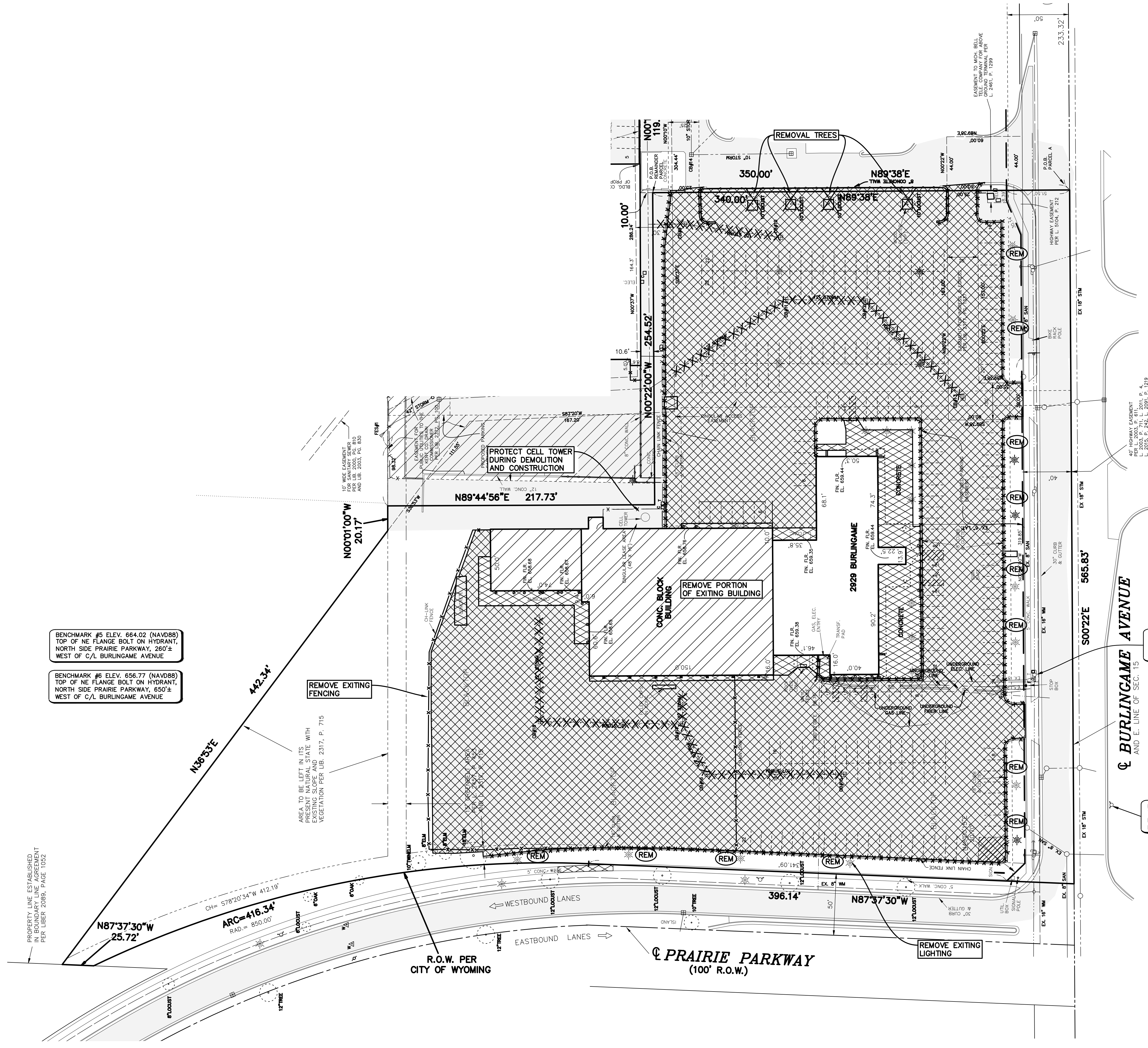
Moore+Bruggink
Consulting Engineers
2020 Monroe Ave.
Grand Rapids, MI 49505
(616) 365-9801
mailto:mail@moore.com

TRUCK TURNING EXHIBIT
FOR
SHEA RAVINE
CITY OF WYOMING, KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE	EXXEL
PROJECT NO.	230206.01
DESIGN DRAWN BY:	ESA
DESIGNED BY:	JFL
CHECKED BY:	JFL
PLAN DATE:	10-09-2023
SHEET NUMBER	1 OF 1

PREPARED FOR:
WODA COOPER COMPANIES, INC.
500 S. FRONT ST.
10TH FLOOR
COLUMBUS, OH 43215
PHONE (614) 499-3278

P:\2020\06.01 Shear Ravine - Wyoming\CADD\DWG\230206_DESIGN.dwg_11/13/2023 5:13:07 PM, EMILY ABBOTT



BENCHMARK #5 ELEV. 664.02 (NAVD88)
TOP OF NE FLANGE BOLT ON HYDRANT,
NORTH SIDE PRAIRIE PARKWAY, 260'±
WEST OF C/L BURLINGAME AVENUE

BENCHMARK #6 ELEV. 656.77 (NAVD88)
TOP OF NE FLANGE BOLT ON HYDRANT,
NORTH SIDE PRAIRIE PARKWAY, 650'±
WEST OF C/L BURLINGAME AVENUE

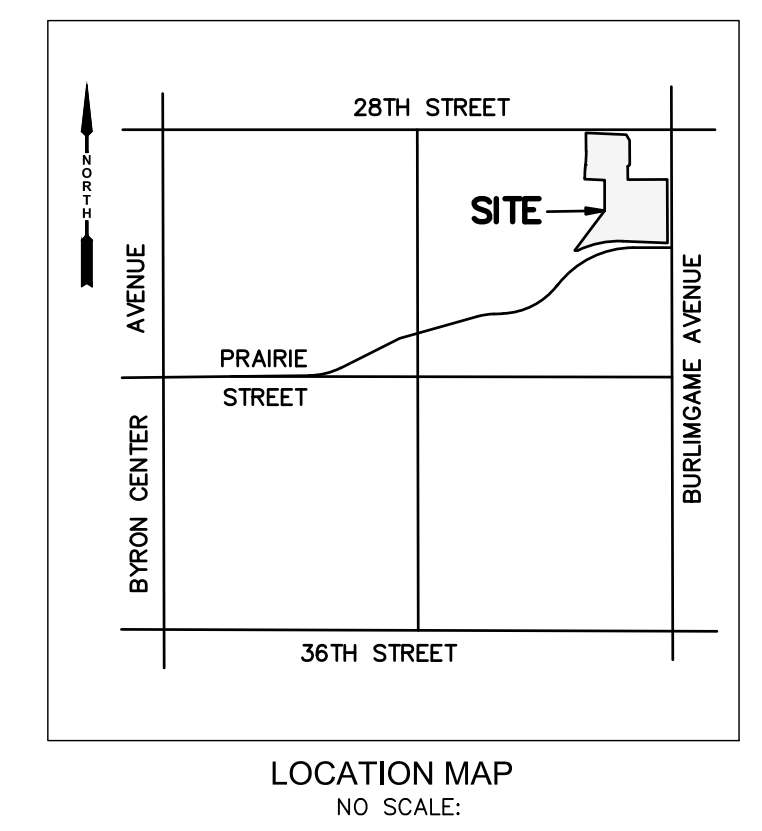
BENCHMARK #3 ELEV. 661.34 (NAVD88)
TOP OF RR SPIKE IN SW SIDE UTILITY POLE,
WEST SIDE BURLINGAME AVENUE, 225'±
NORTH OF C/L PRAIRIE PARKWAY

BENCHMARK #4 ELEV. 663.84 (NAVD88)
TOP OF SE FLANGE BOLT ON HYDRANT,
EAST SIDE BURLINGAME AVENUE, 115'±
NORTH OF C/L PRAIRIE PARKWAY

REMOVAL LEGEND

	COLD MILL HMA
	REMOVE BITUMINOUS
	REMOVE CONCRETE
	REMOVE CURB & GUTTER
	REMOVE/ABANDON UTILITY
	TREE REMOVAL
	RELOCATE BY OTHERS
	REMOVE AND SALVAGE
	REMOVE ITEM
	DRAINAGE STRUCTURE ADJUST

- GENERAL DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
 2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 3. THE CONTRACTOR SHALL REMOVE ALL CONCRETE, BIT PAVEMENT, STORM SEWER STRUCTURES, STORM SEWER PIPE, LIGHT POLES, FENCING, UNDERGROUND ELECTRIC, VEGETATION AND SO ON TO PREPARE THE SITE FOR IMPROVEMENTS, CASTINGS, VALVE BOXES AND/OR OTHER UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED AND PROTECTED FROM DAMAGE.
 4. ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY ACT 451 OF PUBLIC ACTS OF 1997, SOIL EROSION AND SEDIMENTATION CONTROL, NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT.
 5. ALL SOIL EROSION CONTROL MEASURE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTHWORK ACTIVITIES.
 6. THE CONTRACTOR SHALL CLEAN PUBLIC STREETS DAILY OF ANY DIRT AND/OR DEBRIS FROM CONSTRUCTION SITE.



PLAN SCALE: 1" = 40'

Know what's below.
Call before you dig.

PLAN REVISIONS

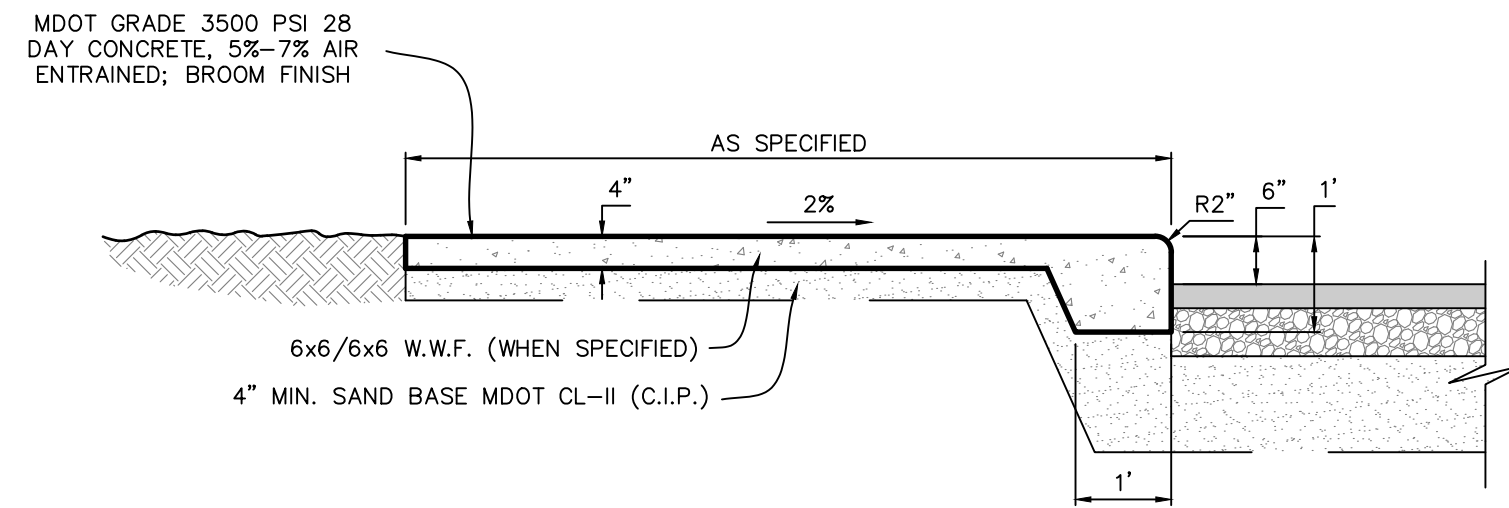
Moore+Bruggink
Consulting Engineers
2020 Monroe Ave.
Grand Rapids, MI 49505
(616) 365-9801
mailto:mbrace@mbce.com

REMOVAL PLAN
FOR
SHEA RAVINE
CITY OF WYOMING, KENT COUNTY, MICHIGAN

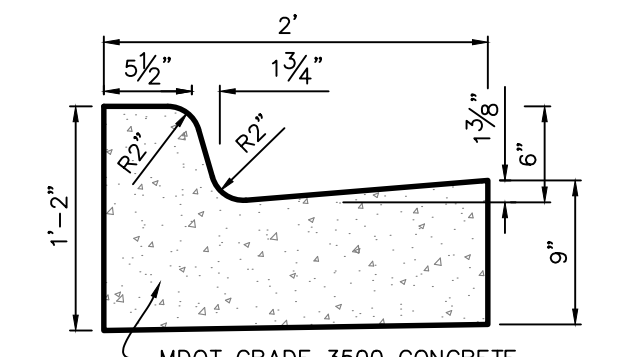
STATE OF MICHIGAN
JUSTIN LONGSTRETH
ENGINEER
6211995281

FIELD SURVEY / DATE	EXXEL
PROJECT NO.	230206.01
DESIGN DRAWN BY:	ESA
DESIGNED BY:	JFL
CHECKED BY:	JFL
PLAN DATE:	10-09-2023
SHEET NUMBER	2 OF 6

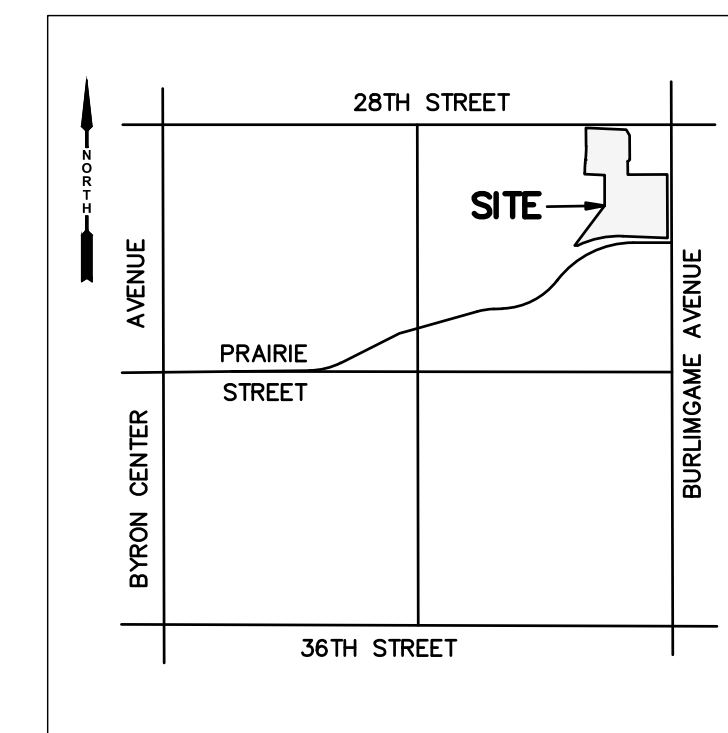
PREPARED FOR:
WODA COOPER COMPANIES, INC
500 S. FRONT ST.
10TH FLOOR
COLUMBUS, OH 43215
PHONE (614) 499-3278



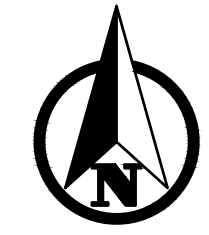
COMPOSITE CONCRETE WALK & CURB DETAIL
SCALE: 1"=2'



24" CURB & GUTTER DETAIL (F-4 MOD.)
SCALE: 1"=1'



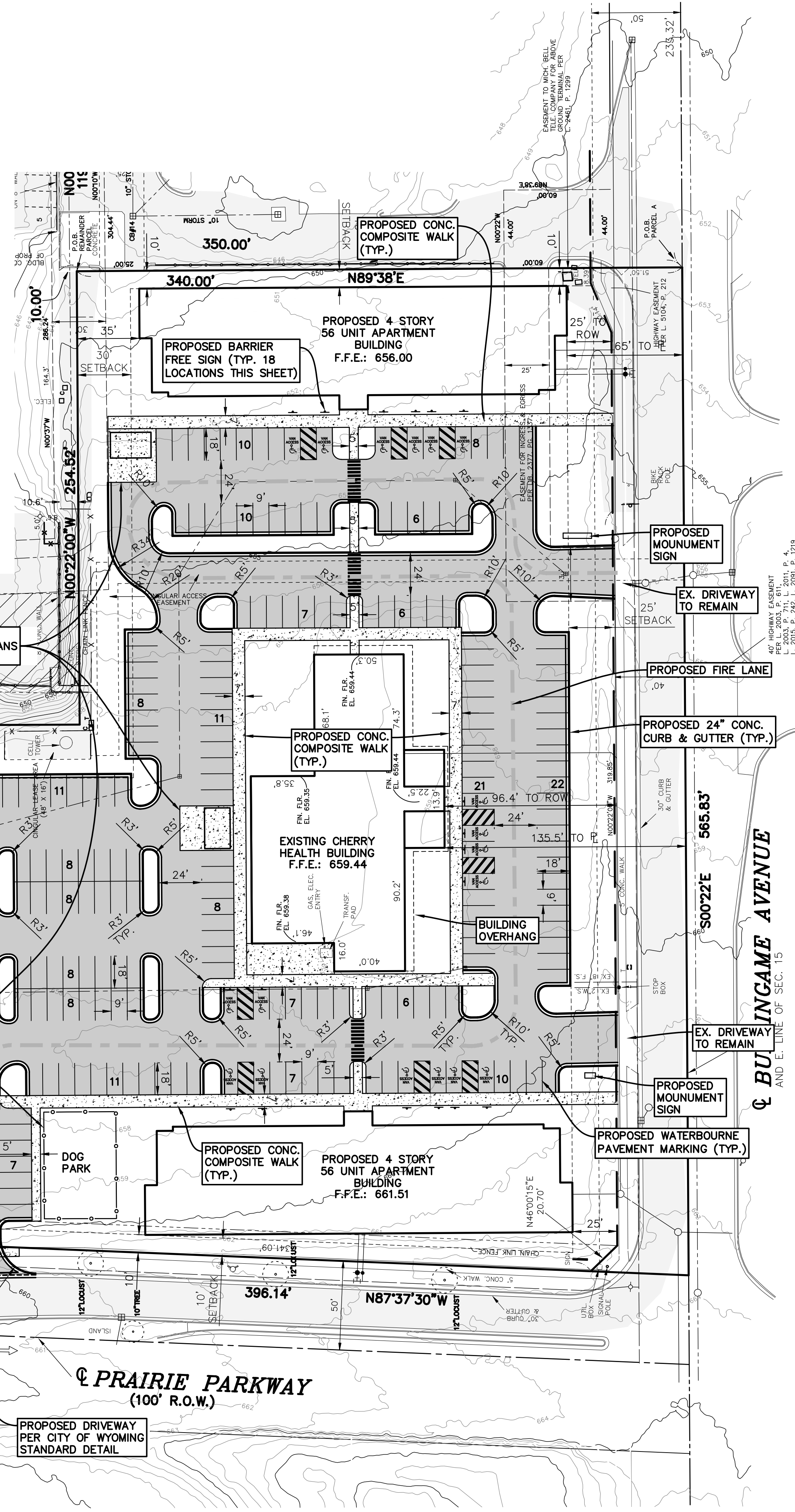
LOCATION MAP
NO SCALE:



PLAN SCALE: 1" = 40'



Know what's below.
Call before you dig.



SITE PLAN GENERAL NOTES:

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FURNISH AND PLACE THE DRIVE APPROACH WITHIN THE PUBLIC RIGHT OF WAY IN ACCORDANCE WITH CITY OF WYOMING STANDARD CONSTRUCTION SPECIFICATIONS.
4. ALL STORM SEWER PIPE SHALL BE ADS N-12 PLASTIC PIPE UNLESS OTHERWISE SPECIFIED.
5. ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4' DIAMETER PRECAST CONCRETE, UNLESS NOTED OTHERWISE.
6. UNLESS OTHERWISE SPECIFIED, REINFORCED CONCRETE AREAS SHALL BE CONSTRUCTED WITH:
8" MDOT CL-2 SAND SUBBASE (C.I.P.)
8" MDOT GRADE P1 OR S2, 3,500 P.S.I., 28-DAY, 5-7% AIR ENTRAINED, BROOM FINISH 2 LAYERS, 6X6/6X6 WOVEN WIRE FABRIC.
7. THE PAVED AREAS SUBJECT TO TRUCK TRAFFIC SHALL BE CONSTRUCTED WITH:
12" MDOT CL-2 SAND SUBBASE (C.I.P.)
8" 21AA GRAVEL BASE (C.I.P.)
2"-3C HMA LEVELING COURSE
2"-5E3 HMA WEARING COURSE
8. ALL OTHER PAVED AREAS SHALL BE CONSTRUCTED WITH:
12" MDOT CL-2 SAND SUBBASE (C.I.P.)
6" 21AA GRAVEL BASE (C.I.P.)
1 1/2" 3C HMA LEVELING COURSE
1 1/2" 5E3 HMA WEARING COURSE
9. THE CONTRACTOR SHALL BED AND BACKFILL ALL UNDERGROUND PIPING WITH MDOT CL-2 SAND TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM-1557.
10. THIS SITE PLAN SHALL NOT BE USED TO STAKE THE LOCATION OF PROPOSED BUILDING COLUMN LINES. THE SURVEYORS ARE TO USE THE BUILDING FOUNDATION PLANS.
11. THE CONTRACTOR SHALL PLACE AND COMPACT FILL UNDER THE PROPOSED BUILDING AREA TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM-1557. ALL OTHER AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DRY DENSITY.
12. THE CONTRACTOR SHALL PIPE ALL BUILDING ROOF WATER TO THE STORM WATER DETENTION POND AS SHOWN AND SPECIFIED.
13. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY EMAIL USING THE MOORE & BRUGGINK, INC. CONTRACTORS CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTORS RESPONSIBILITY.

----- FIRE LANE

ZONING INFORMATION:
ZONING DISTRICT: FORM BASED CODE - CORRIDOR SUBURBAN
SETBACKS:
FRONT: 8'-30'
SIDE: 7'
REAR: 10'
MAX. SITE COVERAGE: 70%

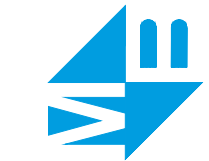
PARKING REQUIREMENTS:
REQUIRED: 2 SPACES/UNIT X 112 UNITS = 224 SPACES (MULTI-FAM. RESIDENTIAL)
PER 90-1903A/90-1903D, 50% REDUCTION W/ STAGGERED PEAK, SHARED PARKING & MASS TRANSIT AVAILABLE = 224 X 50% = 112 SPACES
1 SPACE/200 SQ.FT. X 16,100 SQ.FT. = 81 SPACES (OFFICE)
TOTAL REQUIRED = 193 SPACES
TOTAL PROVIDED = 228 SPACES

BUILDING COVERAGE:
PARCEL - 267,698 SQ.FT.
EXISTING BUILDING - 34,632.66 SQ.FT. (12.9%)
PROPOSED BUILDING - 40,825.89 SQ.FT. (15.2%)



PLAN REVISIONS

Moore+Bruggink
Consulting Engineers
2020 Monroe Ave.
Grand Rapids, MI 49505
(616) 365-9801
mailto:info@mbce.com



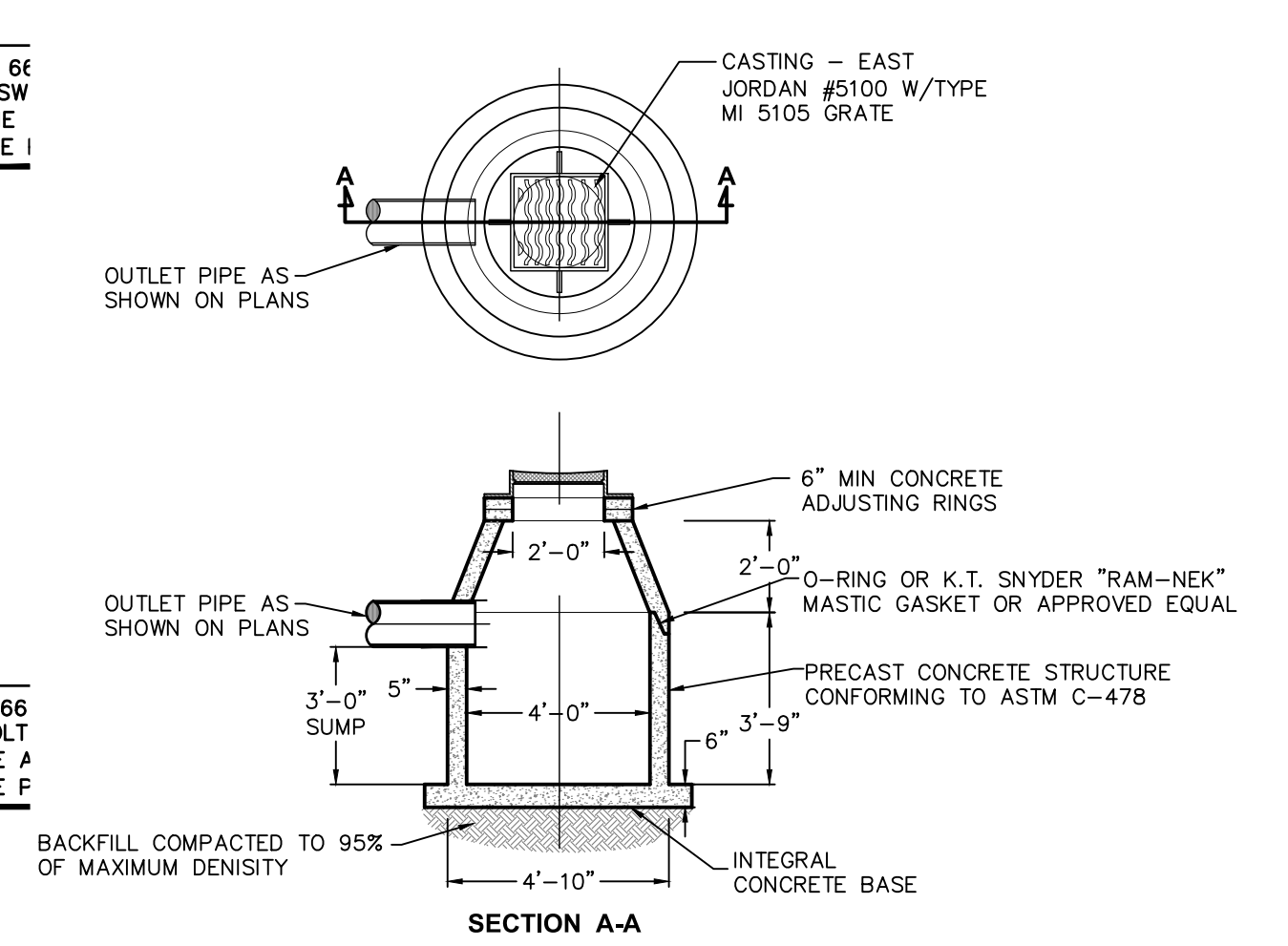
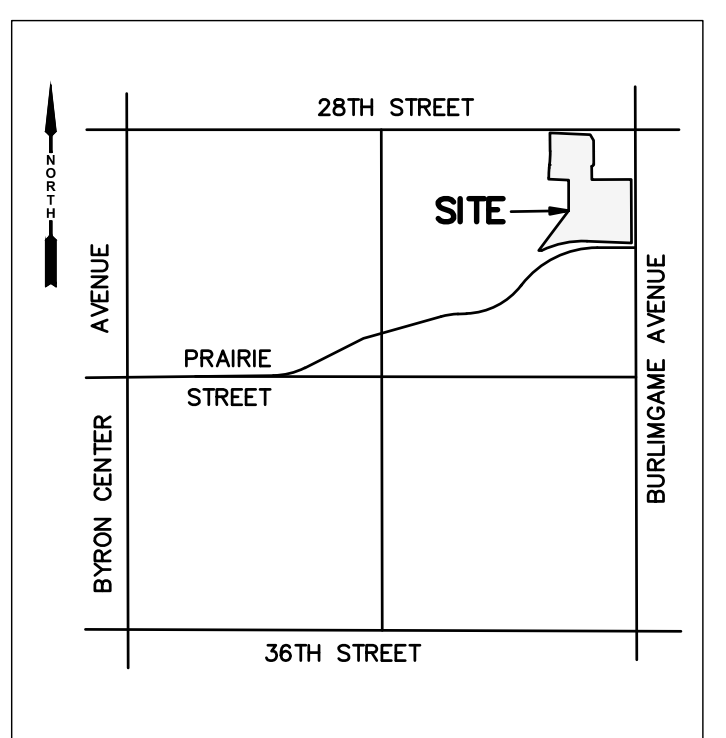
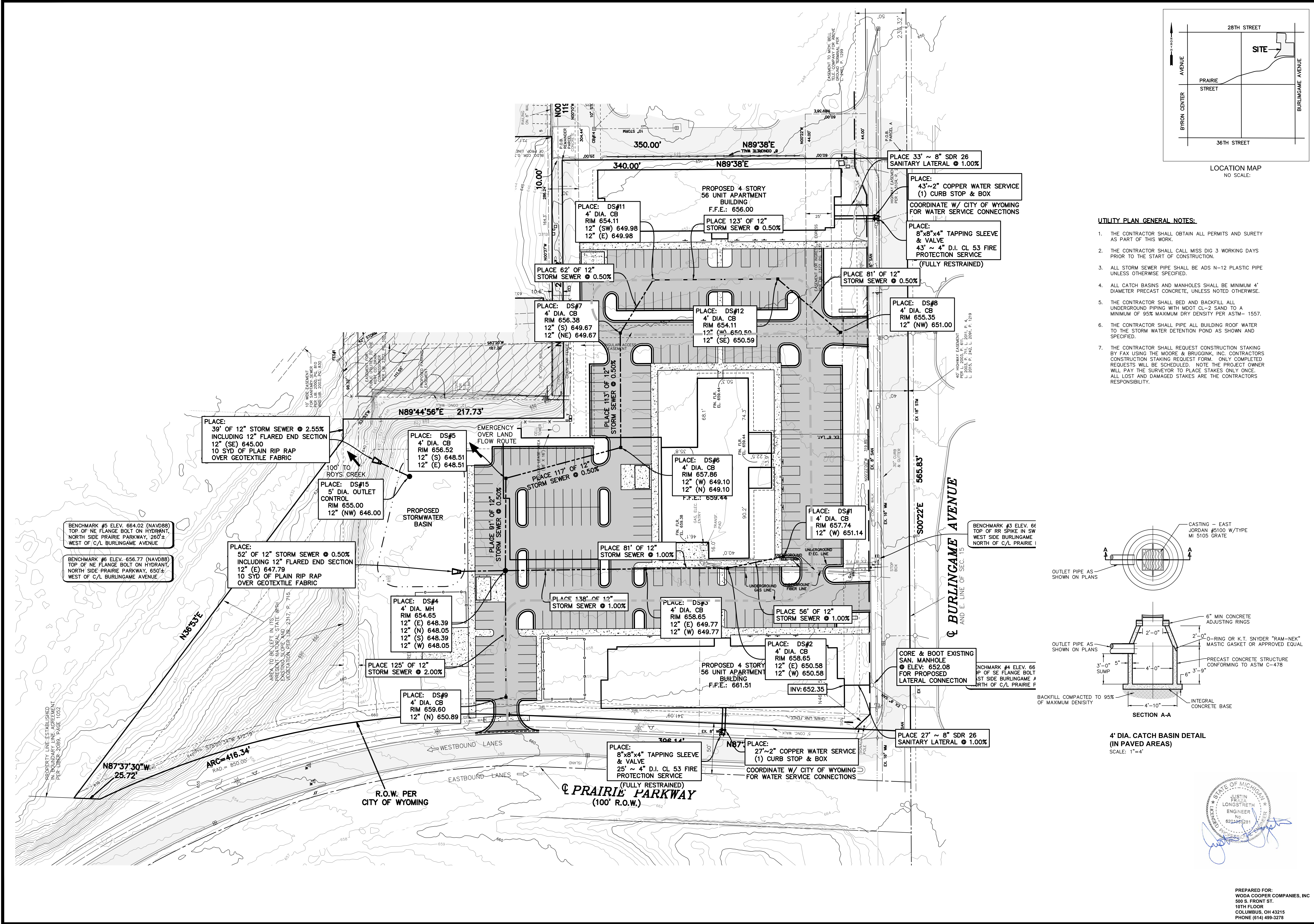
SITE PLAN FOR SHEA RAVINE
CITY OF WYOMING, KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE: EXCEL
PROJECT NO.: 230206.01
DESIGN DRAWN BY: ESA
DESIGNED BY: JFL
CHECKED BY: JFL
PLAN DATE: 10-09-2023

PREPARED FOR: WODA COOPER COMPANIES, INC.
500 S. FRONT ST.
10TH FLOOR
COLUMBUS, OH 43215
PHONE (614) 498-3278

P:\230206.01 Shea Ravine - Wyoming\CADD\DWG\230206_DESIGN.dwg, 11/13/2023 5:13:19 PM, EMILY ABBOTT

P:\2020\06.01 Shear Ravine - Wyoming\CADD\DWG\230206_DESIGN.dwg_11/13/2023 5:13:31 PM, EMILY ARBOTT



PLAN SCALE: 1" = 40'

811
Know what's below.
Call before you dig.

PLAN REVISIONS

Moore+Bruggink
Consulting Engineers
2020 Monroe Ave.
Grand Rapids, MI 49505
(616) 365-9801
mailto:mbruce@mbce.com

ME

UTILITY PLAN FOR
SHEA RAVINE
CITY OF WYOMING, KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE: EXCEL

PROJECT NO.: 230206.01

DESIGN DRAWN BY: ESA

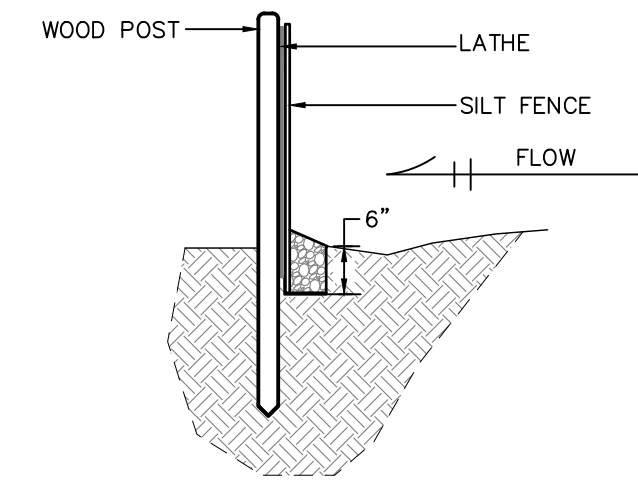
DESIGNED BY: JFL

CHECKED BY: JFL

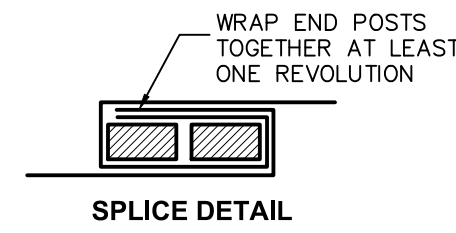
PLAN DATE: 10-09-2023

PREPARED FOR:
WODA COOPER COMPANIES, INC.
500 S. FRONT ST.
10TH FLOOR
COLUMBUS, OH 43215
PHONE (614) 498-3278

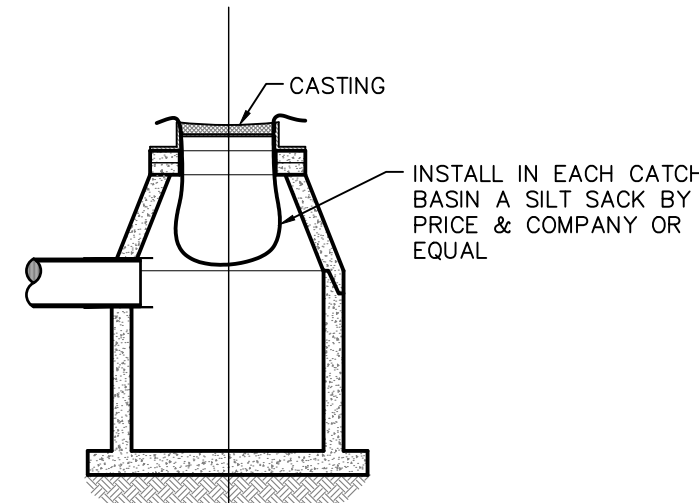
SHEET NUMBER
4 OF 6



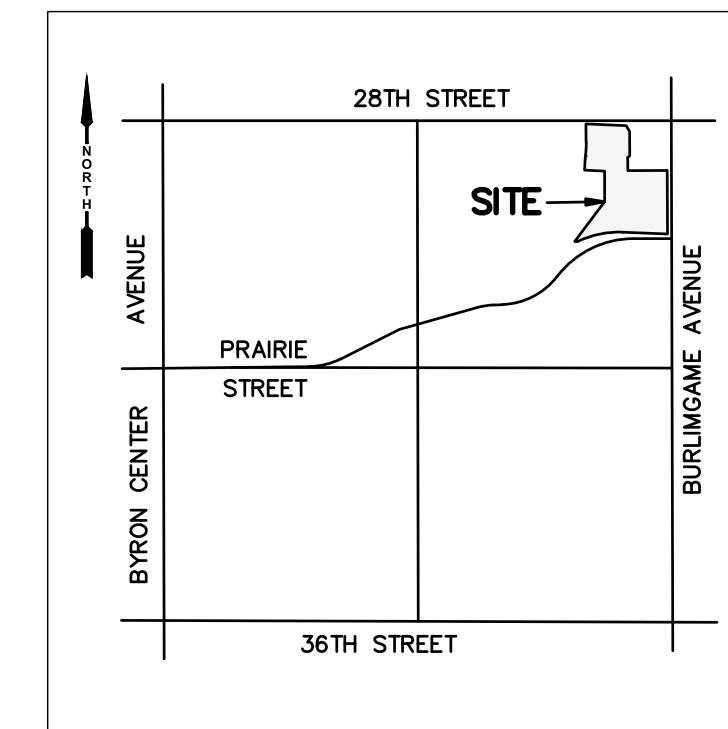
SILT FENCE DETAIL
SCALE: 1"=2'



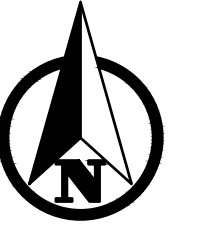
SPLICE DETAIL



INLET PROTECTION DETAIL
SCALE: 1"=4'



LOCATION MAP
NO SCALE:



PLAN SCALE: 1" = 40'



Know what's below.
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PLAN REVISIONS

SOIL EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY EMAIL USING THE MOORE & BRUGGINK, INC. CONTRACTORS CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTORS RESPONSIBILITY.
4. NORTH AMERICAN GREEN DS-150 EROSION CONTROL BLANKET SHALL BE PLACED ON ALL SLOPES 1:3 OR GREATER. SECURE BLANKET TO SLOPE PER MANUFACTURERS SPECIFICATIONS.
5. ALL SILT FENCING SHALL BE TRENCHED IN PRIOR TO COMMENCEMENT OF EARTHWORK ACTIVITIES.
6. SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED.
7. ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH ACT 451 OF PUBLIC ACTS OF 1997, SOIL EROSION AND SEDIMENTATION CONTROL, NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT.
8. NEW & EXISTING STORM SEWER INLET POINTS SHALL BE PROTECTED FROM SEDIMENT INFILTRATION WITH INLET FABRIC DROP (SILT SACK).
9. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS, AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.
10. ALL TEMPORARY EROSION CONTROLS MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED.
11. DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.
12. A TRACKING PAD MUST BE PROVIDED AT CONSTRUCTION ACCESS POINTS TO PREVENT SOILS FROM BEING TRACKED OFF-SITE, PER DETAIL THIS SHEET.
13. CONTRACTOR SHALL SWEEP PAVED AREAS EACH DAY (OR MORE AS NEEDED) BY MECHANICAL MEANS FOR ALL PAVED AREAS IN AND AROUND THE PERIMETER OF THE PROJECT AFFECTED BY TRUCKING OPERATIONS.
14. ALL DISTURBED AREAS SHALL BE RESTORED WITH 4" TOPSOIL (MIN), SEED, FERTILIZER AND MULCH UNLESS OTHERWISE NOTED.
15. CONSTRUCTION ENTRANCE SHALL BE PROVIDED FROM BURLINGAME AVENUE.
16. EXISTING SOIL CONDITIONS: URBAN LAND PER USDA SOIL SURVEY

CONSTRUCTION SCHEDULE

ITEM	J	F	M	A	M	J	J	A	S	O	N	D
TEMP. EROSION CONTROL												
TOPSOIL STRIPPING												
SITE GRADING												
SITE UTILITIES												
DETENTION POND												
BUILDING CONSTRUCTION												
PERM. EROSION CONTROL												
LANDSCAPING												
PAVING												
REMOVE TEMP. EROSION CONTROL												



PREPARED FOR:
WODA COOPER COMPANIES, INC.
500 S. FRONT ST.
10TH FLOOR
COLUMBUS, OH 43215
PHONE (614) 499-3278

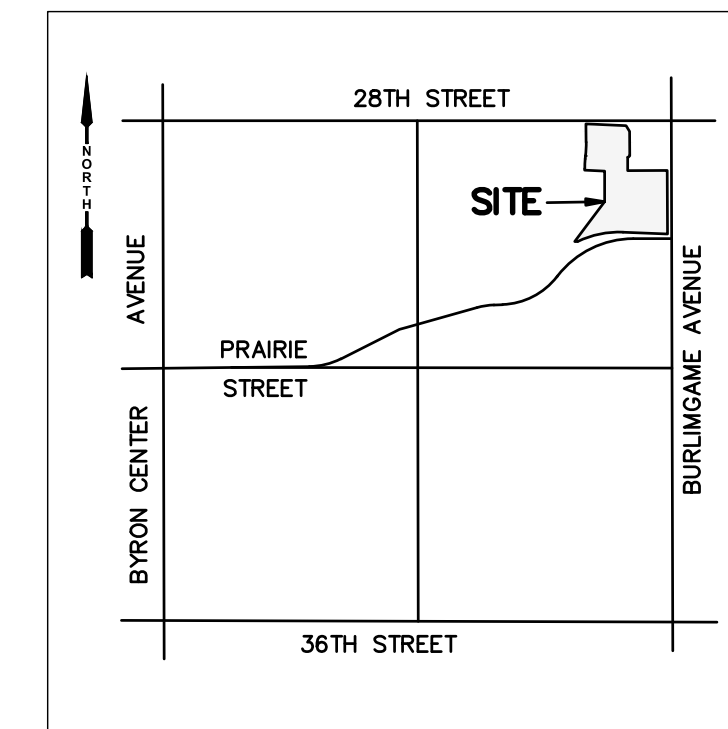
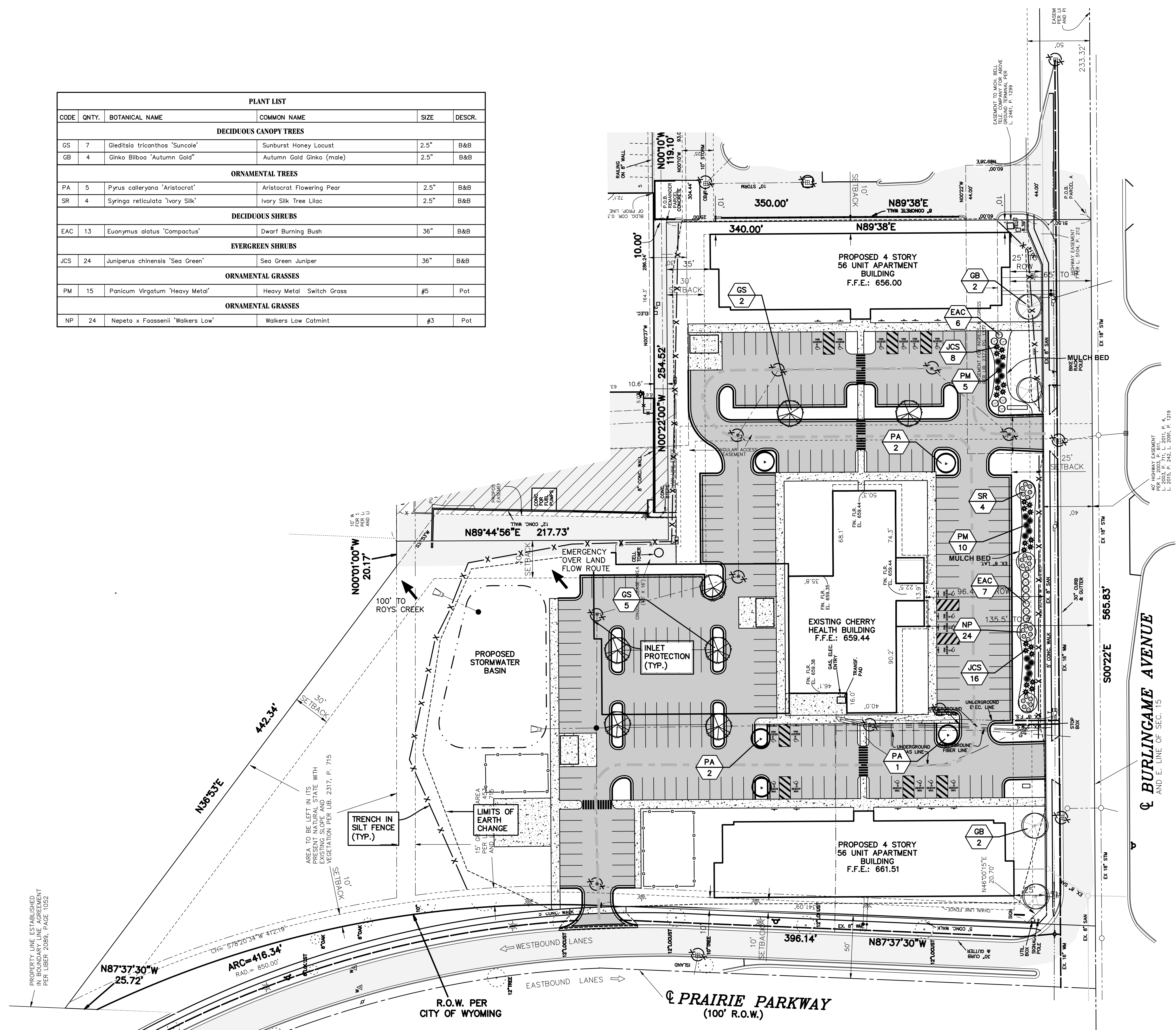
GRADING & S.E.S.C. PLAN
FOR
SHEA RAVINE
CITY OF WYOMING, KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE
EXXEL
PROJECT NO. 230206.01
DESIGN DRAWN BY: ESA
DESIGNED BY: JFL
CHECKED BY: JFL
PLAN DATE: 10-09-2023
SHEET NUMBER
5 OF 6

P:\230206.01 Shea Ravine - Wyoming\CADD\DWG\230206_DESIGN.dwg_11/13/2023 5:13:42 PM, EMILY ABBOTT

P:230206.01 Shear Revine - Wyoming CADD DWG 230206_LANDSCAPE DESIGN.dwg, 11/13/2023 5:16:23 PM, EMILY ABBOTT

PLANT LIST					
CODE	QNTY.	BOTANICAL NAME	COMMON NAME	SIZE	DESCR.
DECIDUOUS CANOPY TREES					
GS	7	Gleditsia tricanthos 'Suncoale'	Sunburst Honey Locust	2.5"	B&B
GB	4	Ginkgo Bilboa 'Autumn Gold'	Autumn Gold Ginkgo (male)	2.5"	B&B
ORNAMENTAL TREES					
PA	5	Pyrus calleryana 'Aristocrat'	Aristocrat Flowering Pear	2.5"	B&B
SR	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	2.5"	B&B
DECIDUOUS SHRUBS					
EAC	13	Euonymus alatus 'Compactus'	Dwarf Burning Bush	36"	B&B
EVERGREEN SHRUBS					
JCS	24	Juniperus chinensis 'Sea Green'	Sea Green Juniper	36"	B&B
ORNAMENTAL GRASSES					
PM	15	Panicum Virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#5	Pot
ORNAMENTAL GRASSES					
NP	24	Nepeta x Faassenii 'Walkers Low'	Walkers Low Catmint	#3	Pot



FRONTAGE LANDSCAPING:
1 TREE PER 66' 565' OF FRONTAGE + 8 TREES
8 TREES PROVIDED

PARKING LOT LANDSCAPING:
1 ISLAND & 1 SHADE TREE PER 25 SPACES
228 SPACES = 9 ISLANDS
9 ISLANDS PROVIDED



PLAN SCALE: 1" = 40'

811
Know what's below.
Call before you dig.

PLAN REVISIONS

Moore+Bruggink
Consulting Engineers
2020 Monroe Ave.
Grand Rapids, MI 49505
(616) 365-9801
mailto:mail@moore.com

LANDSCAPE PLAN FOR
SHEA RAVINE
CITY OF WYOMING, KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE: EXXEL
PROJECT NO.: 230206.01
DESIGN DRAWN BY: ESA
DESIGNED BY: JFL
CHECKED BY: JFL
PLAN DATE: 10-09-2023
SHEET NUMBER: 6 OF 6

PREPARED FOR:
WODA COOPER COMPANIES, INC.
500 S. FRONT ST.
10TH FLOOR
COLUMBUS, OH 43215
PHONE (614) 498-3278



**Shea Ravines
Good Neighbor Plan**

- **Documentation of Communications with Neighboring Businesses and Residents**
 - Woda Cooper Development, Inc. mailed residents and businesses within approximately 0.3 miles of the project site to invite them to a community meeting which was held at the Wyoming Branch – Kent District Library Meeting Room B (3350 Michael Ave. SW, Wyoming, MI 49509). The meeting was held on October 18, 2023 from 4:00PM to 7:30PM. A subsequent mailing will be sent to invite residents to a second community meeting, where the Good Neighbor Plan will be available and site plans are displayed. Information received from residents will be taken into account and incorporated into the Good Neighbor Plan, if possible. Additionally, Woda Cooper Communities, Inc. and Cherry Health have attended public meetings with the Planning Commission and City Council. Additionally, they have presented to the Continuum of Care (CoC) for Grand Rapids, Wyoming, and Kent County and received unanimous support for the development.
 - The notification included an invitation with information about the meeting and a separate project narrative with the email and phone numbers of the development officers, Craig Patterson and Gregory Mustric. *Please see the attached invitation.*

- **Policies for addressing neighborhood concerns**
 - Woda Cooper Development, Inc. and Woda Management & Real Estate, LLC has been in operation for 32+ years and owns and manages over 400 properties and 16,000 units. The development team has made itself available and has proactively engaged with the community about its intent for this property. The development team intends to continue to engage with the community as a partner in the neighborhood throughout the development, construction, and property management stages. Once the property is built and occupied by tenants, the neighborhood and tenants will have access to an on-site property manager. Additionally, a maintenance technician will also be working at the property. The property manager will maintain open lines of communication with City of Wyoming staff should anything arise so that it can be addressed. Proactively, Woda Management & Real Estate, LLC will minimize neighborhood concerns by proactively managing the property and its tenants.
 - *Please see the attached Rules and Regulations of a Lease and a policy for handling resident complaints and customer service.*

- **Policy for Loitering**
 - The site plan identifies a fenced outdoor play area for children, fenced dog park, grill and picnic area. Loitering elsewhere on the property will not be allowed and will be enforced by on-site staff.
 - *Please see the attached policy regarding Trespass/Criminal Trespass.*

- **Policy for Litter**
 - Woda Management & Real Estate, LLC provides an enclosed on-site dumpster and various receptacles for refuse throughout the property. Littering is strictly prohibited. Additionally, both interior and exterior cleaning is completed by the Woda Management & Real Estate, LLC staff or third-party contractor to keep the site aesthetically pleasing and safe for all. Woda Management & Real Estate, LLC will abide by all City ordinances related to proper maintenance and upkeep of the property.
 - *Please see the attached policy regarding Exterior Curb Appeal.*

- **Policy for crime prevention and awareness**
 - Woda Management & Real Estate, LLC will have an on-site property manager and maintenance technician as well as several preventative measures in place to deter crime. Such measures include building and common area access controls, security cameras, and lighting.
 - *Please see the attached policy regarding Security at Communities which identifies the measures taken to prevent crime.*

- **Policy for Landscape Maintenance**
 - Woda Management & Real Estate, LLC takes great pride in the curb appeal of their properties. Woda Management & Real Estate, LLC will abide by all City ordinances related to proper maintenance and upkeep of the property.
 - *Please see the attached policy regarding Exterior Curb Appeal and Maintenance of Landscape and Lawn Care.*

- **Description of supportive services, where applicable**
 - Community Rebuilders will serve as the Lead Service Agency. Community Rebuilders will coordinate supportive services to help the tenants of the Supportive Housing Units achieve greater levels of self-sufficiency. Community Rebuilders will provide on-site supportive service coordination a minimum of 20 hours per week which include but are not limited to the following: tenant stabilization, building support systems, basic tenant needs, benefit assistance, employment related services, physical and mental health, independent living skills such as financial management and budget counseling, linkage to benefits counseling, linkage to employment training and services, linkage to literacy services when necessary, assistance with obtaining transportation, training in the use of public transportation, and referral to other agencies for other needs.
 - Community Rebuilders will work with the Housing Assessment and Resource Agency (“HARA”) for Kent County, which coordinates housing stabilization services countywide, including performing initial intake and assessment for homeless services, referral to appropriate organizations and developing and maintaining relationships with landlords and other community housing resources.

- **Description of services provided for children**
 - Community Rebuilders will serve as the Lead Service Agency. They will coordinate services for children as needed through local partnerships. They will work with local service providers, the parents and children to provide the necessary services which



includes but is not limited to the following: physical and mental health care, school readiness, early childhood home visiting and developmental opportunities, evidence-based youth development initiatives, and assistance locating and maintaining childcare.

- **List of partners providing supportive services**

- The development team and Community Rebuilders will partner or provide referrals to the following organizations:
 - West Michigan Works, MDHHS, MSHDA, Grand Rapids Housing Commission, Community Rebuilders, Arbor Circle, Fair Housing Center of West Michigan, Hope Network – Housing Services, Hope Network Transportation, Family Promise of Grand Rapids, Well House, Community Food Club, Head Start for Kent County, Grand Rapids Urban League, Kent School Services Network, Great Start Collaborative, Literacy Center of West Michigan, Cherry Health (a Federally Qualified Health Center), Health Net of West Michigan, Spectrum Health of West Michigan, Mel Trotter Ministries, Inner City Christian Federation, Priority Health Choice, Inc., EuzenConnect, and Goodwill Industries.

- **Proposed Development Team**

- **Project Owner:** Shea Ravines Limited Dividend Housing Association Limited Partnership (Woda Cooper Companies, Inc. and Cherry Health will be owners of the General Partner)
- **Developer:** Woda Cooper Development, Inc.
 - **Contacts:**
 - P. Craig Patterson (Senior VP)
 - cpatterson@wodagroup.com
 - 989-464-8195
 - Gregory Mustric (VP)
 - gmustric@wodagroup.com
 - 614-396-3222
- **Co-Developer and Service Provider:** Cherry Health
- **General Contractor:** Woda Construction, Inc.
- **Property Manager:** Woda Management & Real Estate, LLC
 - **Contact:**
 - Kathy Osterman (Regional VP)
 - kosterman@wodagroup.com
 - 614-396-3200
- **Lead Service Agency (Permanent Supportive Housing Service Provider):** Community Rebuilders, Inc.



Good Neighbor Plan Notification

YOU'RE INVITED

Please join us for a community house at the
Wyoming Branch – Kent District Library

Meeting Room B

3350 Michael Ave. SW

Wyoming, MI 49509

The meeting will be held on

October 18, 2023 from 4:00PM to 7:30PM

Please join us to learn more about the
**proposed Shea Ravines residential
development and our Good Neighbor Plan.**



Shea Ravines Development Concept

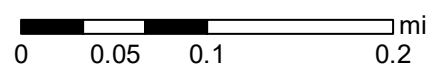
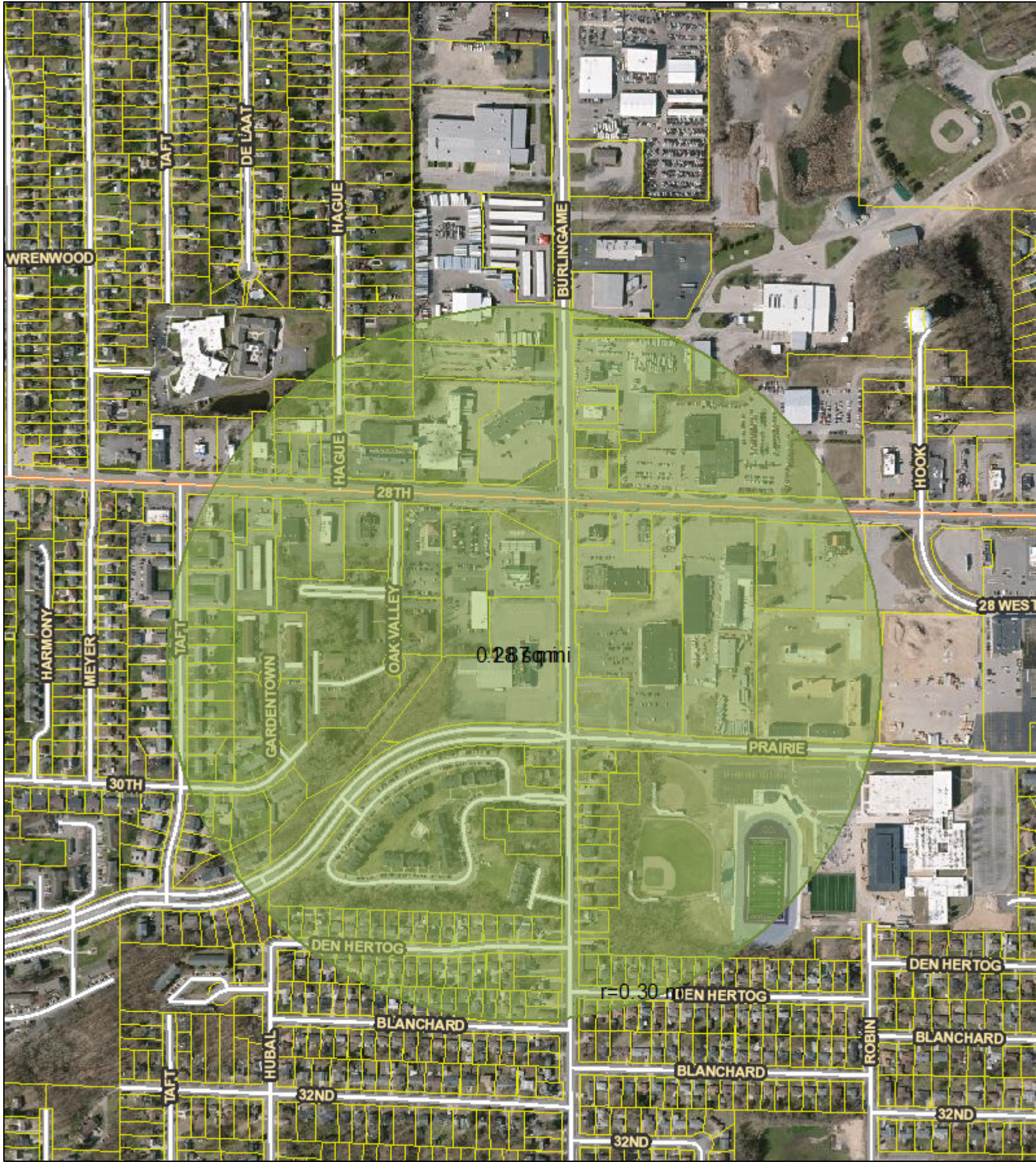
Woda Cooper Development, Inc. (“WCD”) and Cherry Health (“CH”) plan to develop and own this residential community called Shea Ravines. The development will be a general occupancy and permanent supportive housing to individuals and families earning between 30% Area Median Income (“AMI”) and 80% AMI. Shea Ravines is located at 2929 Burlingame Ave. SW in Wyoming, Michigan. The project will be developed in two (2) phases. The first phase includes one 3-story building design consists of 40 one-bedroom units and 16 two-bedroom units. There will be 36 general occupancy units and 20 permanent supportive housing units. The 20 permanent supportive housing units will be set aside for the Top 10% of Continuum of Care's Prioritization List and Households of Chronically Homeless. The estimated building gross square feet is 56,256 while the net square footage is 51,922. The total gross and net square footage includes the common areas and residential units. Preliminary residential unit square footage estimates are as-follows: One-bedroom units will be 682 gross square feet per unit, and the two-bedroom units will be 912 gross square feet per unit. Each floor will be accessible via elevator and stairs. The building will be 100% visitable to aid residents and guests who are mobility impaired. 10% of the units will be ADA compliant and accessible. Parking will be adjacent to the building. We plan to utilize the same development concept and unit mix for the second phase of the development. The second phase residents will also have access to the exterior community amenities built in the first phase. It's anticipated that both Phase I and Phase II will include 1.5 parking spaces per unit. Therefore, each phase will include 84 parking spaces for a total of 168 parking spaces. It's anticipated that the Cherry Health Medical Center will have 81 parking spaces. The warehouse portion of the medical center will be demolished while the main Cherry Health Medical Center will remain in operation and continue to provide services to the community. A RAPID (Suburban Mobility Authority for Regional Transportation) bus stop in front of the site and several within walking distance from the site. There is also a GO! Bus for residents with disabilities and seniors aged 65 and older.

The conceptual plan for Shea Ravines is comprehensive and appealing for active modern lifestyles. Unit amenities include open floor plans with microwaves, dishwashers, frost-free refrigerators, self-clean oven, central air conditioning, washer/dryer hook-ups, as well as energy efficient “green” features such as abundant insulation, energy efficient windows and Energy Star appliances (as available). Community features will include a community room with a kitchenette, restrooms, common laundry, fitness center, property manager's office, package room, permanent supportive housing offices for the service providers and case management. Outdoor amenities include a playground, dog park, a large patio with a grill and picnic area. It is expected that the property will qualify for LEED Zero Energy or similar certification.

Proposed Development Team

- **Project Owner:** Shea Ravines Limited Dividend Housing Association Limited Partnership (Woda Cooper Companies, Inc. and Cherry Health will be owners of the General Partner)
- **Developer:** Woda Cooper Development, Inc.
 - **Contacts:**
 - P. Craig Patterson (Senior VP) – cpatterson@wodagroup.com – 989-464-8195
 - Gregory Mustric (VP) – gmustric@wodagroup.com – 614-396-3222
- **Co-Developer and Service Provider:** Cherry Health
- **General Contractor:** Woda Construction, Inc.
- **Property Manager:** Woda Management & Real Estate, LLC
- **Lead Service Agency (Permanent Supportive Housing Service Provider):** Community Rebuilders, Inc.

Kent County Web Map



Owner	Address	City, State, Zip
BR ASSOCIATES INC	1865 28TH ST SW	Wyoming, MI 49519
TRANQUILITY PROPERTIES LLC	1819 28TH ST SW	Wyoming, MI 49519
NOTHTOWN CENTER INC	1811 28TH ST SW	Wyoming, MI 49519
CARLOS PROPERTY MANAGEMENT LLC	1775 28TH ST SW	Wyoming, MI 49519
RSS REALTY LLC	1751 28TH ST SW	Wyoming, MI 49519
RSS REALTY LLC	1739 28TH ST SW	Wyoming, MI 49519
HACKER MARIA T	1735 28TH ST SW	Wyoming, MI 49519
JM LAND HOLDINGS LLC	2719 HAGUE AVE SW	Wyoming, MI 49519
FRUTUS MARIA YURIZAN ZAMUDIO	2715 HAGUE AVE SW	Wyoming, MI 49519
City of Wyoming Housing Commission	2703 HAGUE AVE SW	Wyoming, MI 49519
GAHC4 WYOMING MI ALF LLC	2708 MEYER AVE SW	Wyoming, MI 49519
WAALKES STEPHEN J & NANCY K TRUST	2662 HAGUE AVE SW	Wyoming, MI 49519
KEMP CHARLES & GEORGIA	2700 HAGUE AVE SW	Wyoming, MI 49519
HAMILTON LARRY D	2710 HAGUE AVE SW	Wyoming, MI 49519
BAUMGARDNER AMY & WADE	2716 HAGUE AVE SW	Wyoming, MI 49519
DEVINK JACK W	2720 HAGUE AVE SW	Wyoming, MI 49519
ALPHA BAKING CO INC	1661 28TH ST SW	Wyoming, MI 49519
1717 LLC	1717 28TH ST SW	Wyoming, MI 49519
PREFERRED HOLDINGS OF WYOMING-BURLINGAME AVE LLC	2655 BURLINGAME AVE SW	Wyoming, MI 49509
SROA 2621 BURLINGAME MI LLC	2621 BURLINGAME AVE SW	Wyoming, MI 49509
CHAMBERLIN CAROL M TRUST	2739 BURLINGAME AVE SW	Wyoming, MI 49519
ALPHA BAKING CO INC	1661 28TH ST SW	Wyoming, MI 49519
1633 28TH STREET LLC	1633 28TH ST SW	Wyoming, MI 49519
GREAT LAKES REAL ESTATE ENTERPRISE	2640 BURLINGAME AVE SW	Wyoming, MI 49509
CITY OF WYOMING	2660 BURLINGAME AVE SW	Wyoming, MI 49509
AREC 11 LLC	2720 BURLINGAME AVE SW	Wyoming, MI 49509
AREC 11 LLC	2740 BURLINGAME AVE SW	Wyoming, MI 49509
BROCK DAVID A	2750 BURLINGAME AVE SW	Wyoming, MI 49509
2754 BURLINGAME SOUTH WEST LLC	2754 BURLINGAME AVE SW	Wyoming, MI 49509
BAKER 1561 REALTY LLC	1561 28TH ST SW	Wyoming, MI 49509
BAKER 1551 REALTY LLC	1551 28TH ST SW	Wyoming, MI 49509
BAKER 1515 REALTY LLC	1515 28TH ST SW	Wyoming, MI 49509

TIM DONUT US LIMITED INC	1558 28TH ST SW	Wyoming, MI 49509
28TH STREET-BURLINGAME L	1548 28TH ST SW	Wyoming, MI 49509
DERMODY J P INC	2900 BURLINGAME AVE SW	Wyoming, MI 49509
LOPEZ-ESCAMILLA RAFAEL	2930 BURLINGAME AVE SW	Wyoming, MI 49509
ARREOLA NABOR MACIEL & PEREZ MAYLIN	1540 28TH ST SW	Wyoming, MI 49509
DERMODY J P INC	1516 28TH ST SW	Wyoming, MI 49509
HOFFMAN-GRAND LLC	1456 28TH ST SW	Wyoming, MI 49509
WYOMING BROWNFIELD REDEVELOPMENT AU	1440 28TH ST SW	Wyoming, MI 49509
FWV PROPERTIES LLC	1420 28TH ST SW	Wyoming, MI 49509
WYOMING BROWNFIELD REDEVELOPMENT AU	1410 28 WEST PL SW	Wyoming, MI 49509
28WPHASEONE LTD DIV HOUSING	1401 PRAIRIE PKWY SW	Wyoming, MI 49509
28WPHASETWO LMTD DVDND HOUSING ASSO	1301 PRAIRIE PKWY SW	Wyoming, MI 49509
WYOMING PUBLIC SCHOOLS	1350 PRAIRIE PKWY SW	Wyoming, MI 49509
HALLMEYER MICHAEL	1495 DEN HERTOOG ST SW	Wyoming, MI 49509
CARPENTER MACY E & MITCHELL D	1503 DEN HERTOOG ST SW	Wyoming, MI 49509
IMESON MARK W	1513 DEN HERTOOG ST SW	Wyoming, MI 49509
HARLEY JODI	1523 DEN HERTOOG ST SW	Wyoming, MI 49509
RICE ELITA M	1531 DEN HERTOOG ST SW	Wyoming, MI 49509
MCCOURRY DORI	1541 DEN HERTOOG ST SW	Wyoming, MI 49509
MATTSON KEVIN J & MICHEL	1549 DEN HERTOOG ST SW	Wyoming, MI 49509
VAN DYKE HARVEY J & MICH	1559 DEN HERTOOG ST SW	Wyoming, MI 49509
FLYNN RAYMOND S & JENNIFER	1569 DEN HERTOOG ST SW	Wyoming, MI 49509
WEBLEY TAMMY M	1577 DEN HERTOOG ST SW	Wyoming, MI 49509
CHRISTIAN KAELYN S	1587 DEN HERTOOG ST SW	Wyoming, MI 49509
DORIGO JACK ANGELO	1494 DEN HERTOOG ST SW	Wyoming, MI 49509
DEVRIES SCOTT E & KAREN L	1502 DEN HERTOOG ST SW	Wyoming, MI 49509
VISSER MICHAEL J	1512 DEN HERTOOG ST SW	Wyoming, MI 49509
HOEKSTRA SARAH AND TAD BULTEMA	1522 DEN HERTOOG ST SW	Wyoming, MI 49509
MENDOZA DOROTEO & MATIAS-PABLO LUCRECIA	1530 DEN HERTOOG ST SW	Wyoming, MI 49509
BOWERS DAVID & EVELYN	1540 DEN HERTOOG ST SW	Wyoming, MI 49509
KURKJIAN GERARD B & SHERYL L	1548 DEN HERTOOG ST SW	Wyoming, MI 49509
VREDEVELD VIJA & ZUIDEMA NICOLE M	1558 DEN HERTOOG ST SW	Wyoming, MI 49509

DOANE TODD R & DEBBIE R	1568 DEN HERTOOG ST SW	Wyoming, MI 49509
BENAVIDES HRISSEL	1576 DEN HERTOOG ST SW	Wyoming, MI 49509
VELDERMAN DONALD & CAROL TRUST	1586 DEN HERTOOG ST SW	Wyoming, MI 49509
BRANDHOLT GREGORY	1619 BLANCHARD ST SW	Wyoming, MI 49519
CURRIER SARA & MICHAEL	1625 BLANCHARD ST SW	Wyoming, MI 49519
STOLIECKAS DEAN & GINA	1631 BLANCHARD ST SW	Wyoming, MI 49519
RAMIREZ-DIVAS CINDY D & PASCUAL-DIVAS WILMER A	1637 BLANCHARD ST SW	Wyoming, MI 49519
DENT TIMOTHY & REBECCA	1643 BLANCHARD ST SW	Wyoming, MI 49519
MORENO JESSE J JR & TINA	1649 BLANCHARD ST SW	Wyoming, MI 49519
BLUEKAMP BRIAN & KATHY TRUST	1655 BLANCHARD ST SW	Wyoming, MI 49519
WINCHESTER MELISSA M	1661 BLANCHARD ST SW	Wyoming, MI 49519
KINCH KEVIN & KAITLYN	1701 BLANCHARD ST SW	Wyoming, MI 49519
BEKKEN AUSTIN & BRANDI	1707 BLANCHARD ST SW	Wyoming, MI 49519
HERNANDEZ-ARRIAGA LUIS	1713 BLANCHARD ST SW	Wyoming, MI 49519
BEAK JUDY K	1719 BLANCHARD ST SW	Wyoming, MI 49519
VAZQUEZ-AGUADO JOSE M & SANCHEZ-LAGUNAS MONICA	1725 BLANCHARD ST SW	Wyoming, MI 49519
MAGLE GERALD E JR AND MICHELE M MAGLE	1731 BLANCHARD ST SW	Wyoming, MI 49519
BROWN ASHLEY & KRAIG	1737 BLANCHARD ST SW	Wyoming, MI 49519
PORTILLO DIMAS INTERIANO	1743 BLANCHARD ST SW	Wyoming, MI 49519
BUTKUS DIANE L	1749 BLANCHARD ST SW	Wyoming, MI 49519
HEVELHURST BRIAN B	1755 BLANCHARD ST SW	Wyoming, MI 49519
WOZNIAK RICHARD A & PHYL	3126 HUBAL AVE SW	Wyoming, MI 49519
TUANG THANG LIAN & VUNG CIIN HAU	1760 DEN HERTOOG ST SW	Wyoming, MI 49519
KOEPKE JOSHUA & KELSEY & STRAZDINS VILNIS	1752 DEN HERTOOG ST SW	Wyoming, MI 49519
LEACH EDA AND LARIS LEACH	1746 DEN HERTOOG ST SW	Wyoming, MI 49519
CERDA ESMERALDA	1740 DEN HERTOOG ST SW	Wyoming, MI 49519
MIDDENDORF SCOTT	1734 DEN HERTOOG ST SW	Wyoming, MI 49519
MELINN VICTORIA M	1728 DEN HERTOOG ST SW	Wyoming, MI 49519
HANANA TEDDY & YOUNG KATRINA	1722 DEN HERTOOG ST SW	Wyoming, MI 49519
CARPENTER TRINA A	1716 DEN HERTOOG ST SW	Wyoming, MI 49519
SACKETT MCKENNA & STRIEGLE BRET	1710 DEN HERTOOG ST SW	Wyoming, MI 49519
CAREY TERESA L	1704 DEN HERTOOG ST SW	Wyoming, MI 49519

MILLER ANDREW & POTTS LINZIE	1664 DEN HERTOOG ST SW	Wyoming, MI 49519
RITZ JENNIFER & DESANTIS ANGEL	1658 DEN HERTOOG ST SW	Wyoming, MI 49519
RITZ CHERYL A	1652 DEN HERTOOG ST SW	Wyoming, MI 49519
ELDERKIN DON L	1646 DEN HERTOOG ST SW	Wyoming, MI 49519
WAGNER MICHAEL E	1640 DEN HERTOOG ST SW	Wyoming, MI 49519
MARQUEZ ARISTEO & LINDA	1634 DEN HERTOOG ST SW	Wyoming, MI 49519
LOPEZ-SANCHEZ SOCORRO ABIDAS	1628 DEN HERTOOG ST SW	Wyoming, MI 49519
LEONARDO THOMAS M	3105 BURLINGAME AVE SW	Wyoming, MI 49509
HART RICHARD	3111 BURLINGAME AVE SW	Wyoming, MI 49509
CHRIS FRANK & SANDRA III	3119 BURLINGAME AVE SW	Wyoming, MI 49509
RAU ROGER A & CORINNE & RAU JAMES A	3055 BURLINGAME AVE SW	Wyoming, MI 49509
RAFAEL-VELASQUEZ JUAN & MENDEZ-DIAZ LESVY	1627 DEN HERTOOG ST SW	Wyoming, MI 49519
THOMAS TRUST	1629 DEN HERTOOG ST SW	Wyoming, MI 49519
GOCHENOUR TIMOTHY J & CH	1635 DEN HERTOOG ST SW	Wyoming, MI 49519
CAMPBELL STEPHEN T & KAR	1641 DEN HERTOOG ST SW	Wyoming, MI 49519
WEEMHOFF JANICE K	1647 DEN HERTOOG ST SW	Wyoming, MI 49519
COVERT GARY W & JOAN M	1653 DEN HERTOOG ST SW	Wyoming, MI 49519
AMES DIANA	1659 DEN HERTOOG ST SW	Wyoming, MI 49519
DYKSTRA KENNETH R	1665 DEN HERTOOG ST SW	Wyoming, MI 49519
GILLIS SPENCER C & KATHLEEN M	1707 DEN HERTOOG ST SW	Wyoming, MI 49519
BENNETT ANTHONY G	1713 DEN HERTOOG ST SW	Wyoming, MI 49519
PELAYO ALEXANDRA & LUIS	1719 DEN HERTOOG ST SW	Wyoming, MI 49519
RIVA JAMES T & KRISTINE	1725 DEN HERTOOG ST SW	Wyoming, MI 49519
VALENTIN XOCHITL	1731 DEN HERTOOG ST SW	Wyoming, MI 49519
VAZQUEZ JESUS & RANGEL MARIZOL	1737 DEN HERTOOG ST SW	Wyoming, MI 49519
BEAUBIEN SEAN & NYARADZO	1743 DEN HERTOOG ST SW	Wyoming, MI 49519
REYES-AVILES ANTONIO L & YAQUES-FROMETA MARIA T	1749 DEN HERTOOG ST SW	Wyoming, MI 49519
COVERT BRIAN & NORA	1755 DEN HERTOOG ST SW	Wyoming, MI 49519
ROBERTS KYLE M & TOMIKO	1763 DEN HERTOOG ST SW	Wyoming, MI 49519
VANOOSTENBRUGGE BRADLEY K	2943 BURLINGAME AVE SW	Wyoming, MI 49509
LEDEZMA MARTIN BEDOLLA & RODRIGUEZ MELIZA	2953 BURLINGAME AVE SW	Wyoming, MI 49509
EDWARD ROSE ASSOCIATES	2961 BURLINGAME AVE SW	Wyoming, MI 49509

FANNON BRAYDEN	3009 BURLINGAME AVE SW	Wyoming, MI 49509
THRASHER JEFFREY & COURTNE	3021 BURLINGAME AVE SW	Wyoming, MI 49509
CITY OF WYOMING	1832 PRAIRIE PKWY SW	Wyoming, MI 49509
LANGERAK BRAD	1840 PRAIRIE PKWY SW	Wyoming, MI 49509
KOEWERS ALBERT LOUIS II & KOEWERS ALBERT LOUIS SR	1846 PRAIRIE PKWY SW	Wyoming, MI 49509
EJ REALTY LLC	1874 28TH ST SW	Wyoming, MI 49519
GR INVESTMENTS LLC	2855 TAFT AVE SW	Wyoming, MI 49519
GR INVESTMENTS LLC	2875 TAFT AVE SW	Wyoming, MI 49519
GOMEZ RENTALS 2 LLC	2879 TAFT AVE SW	Wyoming, MI 49519
JACKS PROPERTIES LLC	2897 TAFT AVE SW	Wyoming, MI 49519
GOMEZ JUAN C & RIVIERA-DE-GOMEZ FRANCESCA M	2915 TAFT AVE SW	Wyoming, MI 49519
GOMEZ RENTALS 14 LLC	2923 TAFT AVE SW	Wyoming, MI 49519
SHI LEI	2939 TAFT AVE SW	Wyoming, MI 49519
TEAM RENTAL LLC	2953 TAFT AVE SW	Wyoming, MI 49519
URENA HECTOR	2961 TAFT AVE SW	Wyoming, MI 49519
SALAS RAQUEL	2973 TAFT AVE SW	Wyoming, MI 49519
LAUFER CHARLES W TRUST	2985 TAFT AVE SW	Wyoming, MI 49519
ARC CAFEUSA001 LLC	1830 28TH ST SW	Wyoming, MI 49519
UNION SUITES LLC	2860 TAFT AVE SW	Wyoming, MI 49519
GR INVESTMENTS LLC	2872 TAFT AVE SW	Wyoming, MI 49519
GOMEZ RENTALS 3 LLC	2880 TAFT AVE SW	Wyoming, MI 49519
GOMEZ RENTALS 1 LLC	2898 TAFT AVE SW	Wyoming, MI 49519
WALKER LARRY J	2916 TAFT AVE SW	Wyoming, MI 49519
CARDERO MIRNA E BOURZAC & LOPEZ JUAN CARLOS	2924 TAFT AVE SW	Wyoming, MI 49519
JACOB JOSEPH M & FRIGGA	2940 TAFT AVE SW	Wyoming, MI 49519
JACOB JOSEPH M & FRIGGA ELLEN F	2954 TAFT AVE SW	Wyoming, MI 49519
ROMERO ALEXYS	2964 TAFT AVE SW	Wyoming, MI 49519
JACOB JOSEPH MICHAEL P & FRIGGA ELLEN F JACOB	2976 TAFT AVE SW	Wyoming, MI 49519
GOMEZ RENTALS 9 LLC	2988 TAFT AVE SW	Wyoming, MI 49519
GOMEZ RENTALS 4 LLC	1853 30TH ST SW	Wyoming, MI 49519
GARDENTOWN APTS LLC	1845 30TH ST SW	Wyoming, MI 49519
JACOB JOSEPH M & FRIGGA ELLEN F	3002 TAFT AVE SW	Wyoming, MI 49519

JACOB JOSEPH M & FRIGGA ELLEN F	3014 TAFT AVE SW	Wyoming, MI 49519
TISCARENO JOSE ANTONIO	3026 TAFT AVE SW	Wyoming, MI 49519
GOMEZ RENTALS 5 LLC	3038 TAFT AVE SW	Wyoming, MI 49519
INDEPENDENT PEOPLE RENT LLC	1855 PRAIRIE PKWY SW	Wyoming, MI 49519
EVERGREEN-PRAIRIE APTS LLC	1833 PRAIRIE PKWY SW	Wyoming, MI 49519
EDWARD ROSE ASSOCIATES I	3001 PRAIRIE PKWY SW	Wyoming, MI 49519
BRATT JONATHAN & LISA	2930 OAK VALLEY AVE SW	Wyoming, MI 49519
GARDENTOWN APTS LLC	2951 GARDENTOWN DR SW	Wyoming, MI 49519
GARDENTOWN APTS LLC	2950 GARDENTOWN DR SW	Wyoming, MI 49519
RIVER VALLEY MGMT LLC	2900 GARDENTOWN DR SW	Wyoming, MI 49519
SROA 2621 BURLINGAME MI LLC	1794 28TH ST SW	Wyoming, MI 49519
FREEDOM DISTRIBUTION INC	1820 28TH ST SW	Wyoming, MI 49519
JASMEET LLC	1800 28TH ST SW	Wyoming, MI 49519
ADVANCE STORES COMPANY INC	1784 28TH ST SW	Wyoming, MI 49519
PINERY GROUP LLC	2827 OAK VALLEY AVE SW	Wyoming, MI 49519
CAMSO INC	1742 28TH ST SW	Wyoming, MI 49519
RESTAURANT HOLDINGS LLC	1730 28TH ST SW	Wyoming, MI 49519
KMF CLASSIC LLC	1680 28TH ST SW	Wyoming, MI 49519
PINERY GROUP LLC	2880 OAK VALLEY AVE SW	Wyoming, MI 49519
KMF CLASSIC LLC	1644 28TH ST SW	Wyoming, MI 49519
SPARTAN STORES FUEL LLC	1600 28TH ST SW	Wyoming, MI 49519

Shea Ravines
Neighborhood Meeting
10/18/23 - Wyoming Library

	Name	Address	e Mail
①	Tad + Sarah Bultema	1522 Dentertag St SW WYO 49509	tsbultema1@sbcglobal.net

**Rules and Regulations of a Lease
and
Policy for handling resident
complaints and customer service**

Rules and Regulations – Acknowledgment of General Rules

Head of Household: _____ Community: _____

Location: _____ Unit: _____

Resident accepts receipt of the Rules and Regulations, which are supplied separately but are an enforceable part of the Lease. Resident shall observe rules, regulations for the safety, care and cleanliness of the Community. Violations of the Rules and Regulations will be considered a violation of the Lease and permits the Landlord to commence the eviction procedure.

Residents are strongly urged to obtain personal property and liability insurance or renter's insurance. Personal belonging and content are not covered for any loss by the Landlord's insurance.

General Regulations

1. The Landlord and its Agents, are responsible for the overall maintenance of the Community.
2. **Maintenance Requests:** Should a Resident require maintenance in or around their unit, work order requests should be submitted to the Community office and will be addressed within 7-14 days.
3. **Emergency Maintenance:** Emergency maintenance, as outlined on the Maintenance Emergencies Sheet, are to be called in to the Community office or the Community emergency number.
4. **Trash:** Trash is removed weekly at owner's expense. Garbage is to be put into plastic trash bags and tied closed and placed into the dumpster or tote. If a Resident is found not complying with this rule they will be charged \$50.00 per occurrence. Residents are not to dispose of large items (i.e. mattress or furniture, etc.) into the dumpster. If a Resident is found not complying with this rule they will be charged \$100.00 per occurrence. These charges will be added to the next rental payment and payments applied to these charges first leaving rent delinquent.
5. **Flower Beds:** Residents may plant flowers within the flower beds adjoining their unit, once flower color and choice are approved by Management. Residents must maintain the beds by mulching using black mulch only, removing weeds, watering plants, trimming where required and removing dead plants. Only live plant material is permitted. No food (fruits or vegetables) may be grown in these beds and no rocks, of any kind, may be used. If a Resident is found not complying with this rule they will be billed for the cost of the contracted service.
6. **Inspections:** Landlord will carry out inspections at the Community periodically. This includes, but is not limited to the following:
 7. **Move-In Inspections:** When the Resident moves in a unit, the Landlord and Resident will inspect the unit together. A written inspection report shall be prepared and any damages or agreed upon repairs are to be documented. Damages noted and not repaired will not be charged to the resident at move out, however damages not noted or occur after inspection will be charged against the Residents security deposit upon move-out. A copy of the report will be retained in the Residents file.
 8. **Move-Out Inspections:** When the Landlord is notified or becomes aware that the Resident is moving out or has vacated the unit, and inspection will be scheduled. Inspections should occur with the Resident if available. Any repairs or costs to be charged to the Resident will be in accordance with the terms of the lease and regulations governing security deposits.
 9. **Smoke Detector & Carbon Monoxide Inspections:** Prior to move-in, the Landlord will inspect the smoke detector to check the battery and ensure proper working order. It is the Residents responsibility however to inspect the smoke detector each month to ensure proper operation and report any issues immediately. Resident is responsible for furnishing and installing batteries to operate the smoke detector.
10. **Housekeeping issues:** In the event, of reported or identified, unacceptable housekeeping issues the Resident will be given forty-eight (48) hours to correct the issue. If the Resident does not correct by the inspection period, the Landlord will begin lease termination proceedings. If unacceptable housekeeping issues continue to arise, notice of non-renewal may be issued. Uncorrected housekeeping issues after move-out will be charged to the Resident and the security deposit may be applied.
11. **Pets:** No pets accepted. Residents shall not keep or harbor any dogs, cats or animals in or about the building. Except those that meet and are approved based on reasonable accommodations and modifications; or unless the community has a pet policy and an approved pet policy has been signed and the pet fee has been paid.
12. **Guests:** Only those persons named in the lease are lawful Residents (or occupants). Guests of Residents will be allowed at the discretion of the Resident. Household guests will be considered as such without penalty for periods of up to fourteen (14) days in a ninety (90) day period on the Community. Resident agrees to assume liability for damages and actions by any guest (approved or implied).
 - a. Any violation of the Rules by a Resident's guest is in fact as if the Resident violated said rules and is grounds for eviction.
13. **Absence:** Resident is responsible for advising Landlord of of any planned absence of more than two (2) weeks duration.

Rules and Regulations – Acknowledgment of General Rules

14. **Abandoned property:** Resident property that has been abandoned as defined in the lease will be disposed of and/or handled in accordance with the State statutes in which the Community resides.
15. **Resident Organizations:** Residents are encouraged to organize into a Resident Association and sponsor their own activities. No Landlord rule will infringe on the rights of the Residents to organize an association of Residents.
16. **Services:** All equipment such as stoves, refrigerators and range hoods provided by the Landlord are to be maintained by the Landlord. Residents are to notify the Landlord via the Maintenance Request when a malfunction occurs. At no time, should the Resident attempt to repair, adjust or dismantle or to make inoperative any equipment in the unit without the express written authorization of Landlord.
17. **Water heater settings:** Each unit has individual controls for heating water. Water temperature is set to prevent serious burns. Do not change the water temperature settings.
18. **Heating Units:** Each unit has individual controls for heating the unit, however the temperature and calibration shown on the control may not agree. It is recommended you use a thermometer to check the room temperature. To conserve energy, do not open the windows and doors without turning off the heat.
19. **Heating Apparatus and Electrical Fixtures:** Residents shall not use any other method of heating or air conditioning than that supplied by Landlord. Kerosene heaters are prohibited to be used anywhere on the Community.
20. **Alterations:** Residents shall not make any alterations, additions or improvements without the written consent of the Landlord. Any improvements that are approved, shall remain upon and be surrendered with the premises at the end of the term.
21. **Exterior Restrictions:** Residents shall not install fences, shrubbery, incinerator, clothes post, satellite dishes or building alterations without prior approval of Landlord.
22. **Patios and Porches:** Residents may only have intended outdoor furniture on any porch or patio. The front porch space is limited to only 2 chairs.
23. **Vehicles:** Vehicles may not be repaired on the premises or inside the garage. No vehicles may be parked in the parking areas without current, unexpired, proper license registration tags in the proper state. Parking on any lawn area is prohibited. Vehicles will be towed at the Residents expense if found in violation of any of these rules after twenty-four (24) hours. Two vehicles are permitted per household. Landlords must approve, in writing, any Resident with more than two vehicles. Motorcycles without a 2"x2" kick plate/ puck, boats, campers, 4-wheelers (ATV's), semi-trucks, tractors and trailers and commercial vehicles are prohibited and cannot be parked in the parking area or common areas.
24. **Blinds:** White blinds are installed at each window and cannot be removed. Residents are responsible to maintain and replace at their expense should they become discolored or damaged after move in.
25. **Open burning:** The residents are not permitted to do open burning on or around the Community, including but not limited to fire pits, fire rings or chimeneas.
26. **Smoke Detectors:** Each unit is equipped with a smoke detector. If it sounds, look for the cause and take proper action. If smoke detector sounds when cooking, use the hood fan to avoid the problem. Do not disconnect the smoke detector.
27. **Wall hangings:** Use only small nails to hang pictures, mirrors and other wall hangings. Residents are not to use glue-on hooks, only approved picture devices. Residents will be charged a fee to repair any excessive or large holes in any walls at move out.
28. **TV Cable / Antenna:** Not permitted at the Community.
29. **Pools:** Swimming or wading pools are not permitted at the Community.
30. **Waterbeds:** Not permitted at the Community.
31. **Window Air Conditioners:** Not permitted at the Community.
32. **Shopping Carts:** Not permitted at the Community, on the premises, or in units.
33. **Swing Sets:** Not permitted to be installed at the Community.
34. **Flag poles:** Not permitted to be installed at the Community.
35. **Vegetable Gardens:** Not permitted at the Community.
36. **Clothes Lines:** Not permitted to be installed at the Community.
37. **Trampolines:** Not permitted at the Community.
38. **Tents:** No tent may be left up overnight at the Community. Single family homes may put up shade tents within their own lot during the day. Communities with a patio or deck may put a shade tent up on their patio during the day. All other Communities must have permission, from the Office, to set up a shade tent on common areas during the day.
39. **Garage Sales:** Not permitted to be held at the Community.
40. **Contractors:** No outside contractor may perform any maintenance or service at the Community without prior, written approval from the Landlord.
41. **Egress:** Each and every room must have at least two means of egress (emergency exit). Violations will be issues if the exit cannot be used because it is inoperable or blocked. NO FURNITURE may block or cover a window at any time. If a window or door becomes inoperable, locks will not latch or window will not remain open, Resident is required to put in a work order immediately to inform Landlord.

Rules and Regulations – Acknowledgment of General Rules

General Do's and Dont's:

1. Residents shall maintain order in the Community, not permit, cause excessive noise, produce objection odors, or cause or permit disruptive behavior or allow and cause repeated or intentional interference with the right of other Residents.
2. No bicycles, motorcycles, 4-wheelers (ATV's), skate boards, portable clothes lines or personal property shall be allowed to be parked or stored in the apartment unit on the patio of the unit in the passageways courts or sidewalks.
3. Residents shall not exhibit their name anywhere except on the mailbox with a label sticker.
4. Residents shall not place any signs or advertising notice on any part of the Community or upon any door or window.
5. Residents shall not use the unit or Community for disorderly and/or immoral purposes and/or violation of any local, federal or state laws.
6. Residents shall not mark, paint, drill into or in any way injure, defect or damage any wall, ceiling, door, frame, partition, floor, wood or metal work, wiring fixture, plumbing and/or any equipment in the leased unit or Community.
7. Residents shall not bring into or keep any explosive or obnoxious substances excelsior or other flammable or combustible matter upon the Community.
8. Waterbeds are not permitted.
9. The Landlord will not be responsible for any article left with any employee.
10. No Resident, occupant, guest or agent of shall go upon the roof of any building.
11. Landlord shall not be responsible to Resident for any non-observance of Rules on the part of other Residents.
12. All interior and exterior lamps and fixture bulbs are to be replaced at Residents expense and shall remain at the time of move-out.
13. Any person using oxygen is strictly prohibited to smoke in the unit, patio or porch.
14. No drugs are permitted on the Community.
15. If a Resident or occupant is convicted of a felony charge, the lease will not be renewed upon expiration. If the felony conviction involves drugs or sexual offense, the lease will be terminated immediately.
16. If a Resident loses or forgets a key, the Community Manager will open their unit door at no cost during office hours. After office hours, Resident is required to contact a lock-smith and if locks are changed provide management a key within 48 hours.

The Landlord reserves the right to rescind or change any of the foregoing Rules and Regulations and to make such other rules, regulations and conditions from time to time as the Landlord may deem needed for the safety, care and/or cleanliness of the Community. The Resident further agrees to accept as binding upon them, any notice of such rescinding or changes; such notice to when posted in the Community.

Upon execution below, Resident acknowledges receipt of such Rules and Regulations and acknowledges the same as an integral part of the Lease.

Head of Household Signature	Head of Household Printed Name	Date
Co-Head Signature	Co-Head Printed Name	Date
Resident Signature	Resident Printed Name	Date
Agent for Owner Signature	Agent for Owner Printed Name	Date

Title 18, Section 1001 of the U.S. Code states that a person is guilty of a felony for knowingly and willingly making false or fraudulent statements to any department of the United States Government. HUD and any owner (or any employee of HUD or the owner) may be subject to penalties for unauthorized disclosures or improper uses of information collected based on the consent form. Use of the information collected based on this verification form is restricted to the purposes cited above. Any person who knowingly or willingly requests, obtains, or discloses any information under false pretenses concerning an applicant or participant may be subject to a misdemeanor and fined not more than \$5,000. Any applicant or participant affected by negligent disclosure of information may bring civil action for damages and seek other relief, as may be appropriate, against the officer or employee of HUD or the owner responsible for the unauthorized disclosure or improper use. Penalty provisions for misusing the social security number are contained in the Social Security Act at 208(a) (6), (7) and (8). Violations of these provisions are cited as violations of 42 U.S.C. 408 (a) (6), (7) and (8).

In accordance with Federal Civil Rights law and U.S. Department of Agriculture (USDA) Civil Rights regulations and policies, the USDA, its agencies, offices, and employees, and institutions participating in or administering USDA programs are prohibited from discriminating based on race, color, national origin, religion, sex, gender identity (including gender expression), sexual orientation, disability, age, marital status, family/parental status, income derived from a public assistance program, political beliefs, or reprisal or retaliation for prior credible activity, in any program or activity conducted or funded by USDA (not all bases apply to all programs). Remedies and complaint filing deadlines vary by program or incident.

Persons with disabilities who require alternative means of communication for program information (e.g., Braille, large print, audiotape, American Sign Language, etc.) should contact the responsible Agency or USDA's TARGET Center at (202) 720-2600 (voice and TTY) or contact USDA through the Federal Relay Service at (800) 877-8339. Additionally, program information may be made available in languages other than English. To file a program discrimination complaint, complete the USDA Program Discrimination Complaint Form, AD-3027, found online at <https://www.ascr.usda.gov/filing-program-discrimination-complaint-usda-customer> and at any USDA office or write a letter addressed to USDA and provide in the letter all of the information requested in the form. To request a copy of the complaint form, call (866) 632-9992. Submit your completed form or letter to USDA by: (1) mail: U.S. Department of Agriculture, Office of the Assistant Secretary for Civil Rights, 1400 Independence Avenue, SW, Washington, D.C. 20250-9410; (2) fax: (202) 690-7442; or (3) email: program.intake@usda.gov.





Search for documents... x Q

Advanced Search

General Description

Warnings and Precautions

Detailed Steps

Troubleshooting

- Home
- General Information ▾
- People Ops & Talent Acquisition ▾
- Information Technology (IT) ▾
- Safety ▾
- Management ▾
- Accounting ▾
- Development ▾
- Construction ▾

Resident Complaints and Customer Service

*Department: Marketing,
Market_Customer
Service,
Community_Rules*

Date Last Updated: 9/16/2022

General Description

Description / Scope:

This procedure will describe how to handle complaints and the importance of explaining the standard of emergency procedures to residents

Purpose:

Customer service and resident relations are needed to build a great bond with our residents.

Who Performs / Responsible:

Community Manager

When to Perform:

Always

Warnings and Precautions

Warnings:

Performing this procedure improperly could result in:

Disciplinary action, up to and including immediate termination of employment.

Detailed Steps

1 Handling Complaints

- Sympathize
- Reassure
- Get the facts
- Apologize
- Thank the Resident

2 Major complaints that could potentially result in litigation or monetary costs should be reported to the immediate supervisor as soon as possible.

- The insurance carrier may need to be notified to document a potential claim, to process a claim, or to deny a claim and remove the company from dispute with a resident.
- Major claims should be investigated due to weather conditions, maintenance conditions, negligence, and unusual circumstances.
- Refer attorneys or other local officials to the DM or RM.
- The most important factor to handling an emergency call is to listen and to determine the nature of the issue.

3 Skill at handling complaints comes with practice and experience.

- Follow up with good documentation in a formal response, whether by brief written notes or typed letters issue.
- This will not only confirm the effort, but can also be used in the future to demonstrate attention to the resident's concerns.

Troubleshooting

How to Get Help:

Ask your supervisor

**Policy regarding
trespass/criminal trespass**



Search for documents... x Q

Advanced Search

General Description

Steps to complete

Disciplinary Action

Attachments

- Home
- General Information ▾
- People Ops & Talent Acquisition ▾
- Information Technology (IT) ▾
- Safety ▾
- Management ▾
- Accounting ▾
- Development ▾
- Construction ▾

Notice of Trespass/Criminal Trespass

Department: Community,
Community_Rules

Date Last Updated: 9/16/2022

General Description

Description:

The policy and form are developed to provide documentation and notice to persons engaged in trespass or criminal trespass on WMRE managed communities. Such persons are by definition not approved Residents pursuant to a current Lease Agreement. These persons have demonstrated that they present an unreasonable risk to Residents and the involved community. The person(s) named in the Notice of Trespass/Criminal Trespass are banned from entering or occupying any part of the land or premises.

Objective:

The purpose of this policy is to provide a fair and consistent process to notify persons engaged in prohibited activities (criminal activity, trespass, harassment of residents, stalking or loitering) that they are not welcome on the community and have been asked to leave the community's buildings and grounds because of their prohibited conduct. The Notice of Trespass/Criminal Trespass provides documented notification that is typically needed for law enforcement to enforce the local municipalities laws and ordinances should the banned individuals trespass the community in the future. The Notice of Trespass/Criminal Trespass informs any Residents that have been involved in the disruptive incidents of their obligation and responsibility for the actions of their guests/visitors and the potential consequences to residents housing should they participate in any way in the trespassing of persons named on the notice. Laws related to trespass/criminal trespass vary a bit from jurisdiction to jurisdiction across the WMRE operating footprint – CM's and RM's should familiarize themselves with local law and procedures related to trespass/criminal trespass.

Responsibility:

The following employees and/or teams are responsible for completing this procedure.

Community Manager (CM)

Regional Manager (RM)

Regional Vice President (RVP)

May Often Include Direction from Legal Counsel.

Steps to complete

- 1 Incident reports, witness statements, photographs, if applicable, police reports or other evidence of unreasonable, threatening, damaging or otherwise disruptive behavior or actions must be presented to the Regional Manager and copied to the RVP.**
- 2 The RVP will review, confirm details of reported events, and consult with the SVP and Legal Counsel, as needed.**
- 3 The RVP will then approve the issuance of Trespass/Criminal Trespass Individuals.**
- 4 The Regional Manager will provide the signed **Notice of Trespass /Criminal Trespass** as follows:**
 - Hand deliver to any Resident/Occupants involved in the documented events.
 - Send the notice via certified mail and US mail to the named/banned individual.
 - Provide a copy of the notice to the appropriate local law enforcement contact.
 - Keep a copy of the notice in the file of any Residents involved in the events and who were provided a copy of the Notice of Trespass/Criminal Trespass
 - Maintain a separate file folder of all Notices in Community Managers office.

Disciplinary Action***Warnings:***

Employees who fail to comply with this policy may be subject to appropriate disciplinary action, up to and including immediate termination of employment.

Attachments

Attachments:

To open the document, click on the attachment.



[Notice of Trespass_Criminal Trespass](#)

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Policy regarding exterior curb appeal



Search for documents... x Q

Advanced Search

General Description

Terms and Equipment or Materials

Steps to complete

Disciplinary Action

Attachments

- Home
- General Information ▾
- People Ops & Talent Acquisition ▾
- Information Technology (IT) ▾
- Safety ▾
- Management ▾
- Accounting ▾
- Development ▾
- Construction ▾

Exterior Curb Appeal (grounds, patio, porch, breezeway, dumpster)

*Department: Community,
 Maintenance,
 Maintenance_Work
 Order, Community_Office
 Duties*

Date Last Updated: 9/16/2022

General Description

Description:

Exterior Curb Appeal is the visual attractiveness of a home or apartment, as seen from the street, parking area, adjacent sidewalks, or anywhere else outside the residential housing unit. This applies to the exterior of the home or apartment as well as the landscaping, outdoor fixtures, sidewalks, driveway, and parking area, etc.

Objective:

This policy provides guidelines to ensure each Community is as clean and safe as possible.

Responsibility:

The following employees and/or teams are responsible for completing this procedure.

Community Manager (CM)

Community Resident

Groundskeeper

Leasing Agent

Leasing Consultant

Maintenance Coordinator

Regional Manager (RM)

Regional Vice President (RVP)

Senior Regional Manager

Senior Service Technician (SST)

Service Technician (ST)

Terms and Equipment or Materials***Terms and Acronyms:***

<i>Term:</i>	<i>Definition:</i>
Breezeway	A roofed outdoor passage, as between a residential housing unit, another residential housing unit, an exit, or a garage.
Patio	An outdoor space generally used for dining or recreation that adjoins a residence and is typically paved.
Porch	A projecting building that houses the entrance door of a building or as a vestibule, or hall.

Steps to complete

1 The ST should be walking the premises of their Community daily. During their walk, the ST should ensure the following:

- A. The Community, office, and any common areas are clean,
- B. The grounds are cleared of trash, leaves, cigarette butts, etc.,
- C. Pet waste is properly disposed of and not on sidewalks, lawns, etc.,



D. Litter and trash is picked up and thrown away,



E. Dumpster is cleared of trash and debris. Any trash not in the dumpster, shall be deposited in the dumpster. Any garbage noted that third party trash hauler will not haul away (i.e. mattresses, furniture, tires), an applicable party that will shall be contacted immediately and documented.



- F. Porches, patios and breezeways are cleared of clutter. If there are items or clutter that are not permitted, per the Acknowledgement of General Rules or Health and Safety Lease Agreements, provide the Resident with a notice of violation.
- G. The CM should ensure that the ST is performing the items noted above. The CM shall perform daily walks to confirm ST's performance and where necessary, address the issues personally to ensure the best Exterior Curb Appeal as possible.

2 Violations

- A. Provide Residents with a 24-hour notice to clear clutter from their porch, patio or breezeway.
 - a. If items are not cleared, per the first notice, remove items and hold in locked area for an additional 24-hours.
 - 1. If the items are not picked up within 24-hours, dispose of the items.

Disciplinary Action

Warnings:

Employees who fail to comply with this policy may be subject to appropriate disciplinary action, up to and including immediate termination of employment.

Attachments

Attachments:

To open the document, click on the attachment.



[Notice of Lease Violation of Rules - LIHTC](#)

[Notice of Lease Violation of Rules - RD](#)

Policy regarding security at communities



Search for documents... x Q

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General Description

Steps to complete

Disciplinary Action

Related Documents

- Home
- General Information ▾
- People Ops & Talent Acquisition ▾
- Information Technology (IT) ▾
- Safety ▾
- Management ▾
- Accounting ▾
- Development ▾
- Construction ▾

Security at Communities

*Department: Construction, Information
Technology,
IT_Construction,
IT_Community,
IT_Security, Community,
Constru*

Date Last Updated: 7/25/2023

General Description

Objective:

This procedure goes over basic security needs for all communities and steps are taken to provide certain employees access to security camera footage.

Who Performs / Responsible:

The following employees and/or teams are responsible for completing this procedure.

Community Manager (CM)

Construction Crew

IT Department (IT)

Regional Manager (RM)

Regional Vice President (RVP)

Steps to complete

1 *Midrise and Corridor Buildings*

- A. Access Control
 - a. Alarm (squealer) on each exit only door
 - b. Key fob RFID, two for each unit, plus 10
 - c. Keypads are never to be used
 - d. If the Manager's office does not have a view of the guest entry door, guest intercom must have video and concierge phone must display guests to Manager.
- B. Security cameras
 - a. Two-week DVR
 - b. Monitor mounted in view of the Manager's desk, preferably on the wall, above monitor height
 - c. Camera on each point of ingress
 - d. Camera in community room (on TV), exercise room, laundry room, computer room, Manager's Office, dedicated Maintenance area.
- C. Lighting
 - a. All walkways will have a minimum of one-foot candle of light which can be achieved by any combination of street lights and wall-packs. Porch lights under a resident's control will not be counted in the photometric study.
 - b. All parking lots will have no less than .5 foot candles of light on all paved surfaces
 - c. All exterior lights are to be inspected for proper operation at least once per month. This is noted in the Weekly Preventative Maintenance inspection. Work orders are to be issued for any malfunctioning lights.
- D. Urban midrise
 - a. Additional exterior cameras on AC condensers, in blind spots, and on exterior maintenance storage
 - b. Additional cameras for internal parking areas
 - c. Access control equipment located outside exterior vestibule door
 - d. Control access to courtyards and exterior amenities if possible
 - a1. Use security cameras where access cannot be controlled
 - b. Corridors to be secured with access control if warranted
 - e. Do not have ground level patio doors on sides of the building not within a secured courtyard
 - f. Secure AC condensers in cages if access to them is not secured

- E. Rural midrise
 - a. Access control located inside vestibule (exterior vestibule door remains unlocked)

2 *Walk-up, Single Family and Townhome*

- A. Lighting
 - All walkways will have a minimum of one-foot candle of light which can be achieved by any combination of street lights and wall-packs. Porch lights under a resident's control will not be counted in the photometric study.
 - All parking lots will have no less than .5 foot candles of light on all paved surfaces
 - All exterior lights are to be inspected for proper operation at least once per month. This is noted in the Weekly Preventative Maintenance inspection. Work orders are to be issued for any malfunctioning lights.
- B. Rural
 - a. Security Cameras
 - a1. Two-week DVR
 - b. Monitor mounted in view of the Manager's desk, preferably on the wall, above monitor height
 - c. Camera in community room (on TV), exercise room, laundry room, computer room, Manager's Office
 - d. Camera on maintenance building and on property blind spots (up to three)
- C. Urban
 - a. Security Cameras
 - a1. Two-week DVR
 - b. Monitor mounted in view of the Manager's desk, preferably on wall, above monitor height
 - c. Camera in community room (on TV), exercise room, laundry room, computer room, Manager's Office
 - d. Camera on maintenance building and on property blind spots (up to eight)
 - b. Securing buildings
 - a1. Avoid having rear doors if possible
 - b. HVAC condensers to be placed in locking cages if not in view of security cameras
 - c. Security Patrol
 - a1. Work with local law enforcement to increase patrol visits and set up a neighborhood watch association.
 - b. Community is to be walked in it's entirety Monday through Friday by a member of the Management Staff. Any suspicious activity is to be reported to the authorities immediately.

3 *Senior Walk-up*

- A. Access Control
 - a. Alarm (squealer) on each exit only door
 - b. Key fob RFID, two for each unit, plus 10.
 - c. Keypads are never to be used

- d. If the Manager's office does not have a view of the guest entry door, guest intercom must have video and concierge phone must display guests to Manager.
- B. Security cameras
- a. Two-week DVR
 - b. Monitor mounted in view of the Manager's desk, preferably on the wall, above monitor height
 - c. Camera on each point of ingress
 - d. Camera in community room (on TV), exercise room, laundry room, computer room, Manager's Office
- C. Lighting
- All walkways will have a minimum of one-foot candle of light which can be achieved by any combination of street lights and wall-packs. Porch lights under a resident's control will not be counted in the photometric study.
 - All parking lots will have no less than .5 foot candles of light on all paved surfaces
 - All exterior lights are to be inspected for proper operation at least once per month. This is noted in the Weekly Preventative Maintenance inspection. Work orders are to be issued for any malfunctioning lights.
- D. Commercial Tenant Spaces
- a. Should be separated from residential space by physical barriers like doors or gates
 - b. If an elevator is needed to access tenant space, elevator must have access control
 - c. Limit points of access between residential and commercial space (such as separate entrances and separate emergency exits)

4 Security Camera Footage

- A. If an incident occurs at the Community and the security cameras were able to see or catch the incident, the Community personnel must notify IT immediately.
- B. Most camera systems only hold footage for 14 days, so it's imperative that the Community reports the existence of security footage to be archived within 24 hours of the incident, or it will be automatically deleted by the security system.
- C. IT will verify the footage needed based off the Community's email notification with date and time of incident.
IT will then create a copy and transfer the footage to our servers as a backup file. IT will also verify the transferred file is not corrupted and the video file is viewable.
- D. Once the footage is received, IT will save under `wodanox\itshare\Security Footage*Community Name*`
Wodanox is housed in the Columbus office, then each week, the software performs backups to the Indiana office. It also has shadow copies enabled, which means any change to the Security Footage folder will be irreversible. IT will then inform Legal Counsel, Jeff Woda, David Cooper, Jr. and the RVP of the file being successfully recovered from the security system and stored permanently.
 - a. The Security Footage folder has inheritance disabled, so anyone who needs access will need explicit permissions added to access it.

Disciplinary Action

Warnings:

Performing this procedure improperly could result in:

Disciplinary action, up to and including immediate termination of employment

Related Documents

Procedure [Maintenance: Key Control System](#) MAINT 019

Policy [Preventative Maintenance](#) MAINT 004

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**Policy regarding exterior curb
appeal
and**

**Policy regarding maintenance of
landscape and lawn care**



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General Description

Terms and Equipment or Materials

Steps to complete

Disciplinary Action

Attachments

- Home
- General Information ▼
- People Ops & Talent Acquisition ▼
- Information Technology (IT) ▼
- Safety ▼
- Management ▼
- Accounting ▼
- Development ▼
- Construction ▼

Exterior Curb Appeal (grounds, patio, porch, breezeway, dumpster)

*Department: Community,
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 Order, Community_Office
 Duties*

Date Last Updated: 9/16/2022

General Description

Description:

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- C. Pet waste is properly disposed of and not on sidewalks, lawns, etc.,



D. Litter and trash is picked up and thrown away,



E. Dumpster is cleared of trash and debris. Any trash not in the dumpster, shall be deposited in the dumpster. Any garbage noted that third party trash hauler will not haul away (i.e. mattresses, furniture, tires), an applicable party that will shall be contacted immediately and documented.



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 - 1. If the items are not picked up within 24-hours, dispose of the items.

Disciplinary Action

Warnings:

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Attachments

Attachments:

To open the document, click on the attachment.



[Notice of Lease Violation of Rules - LIHTC](#)

[Notice of Lease Violation of Rules - RD](#)



Search for documents... x Q

Advanced Search

General Description

Steps to complete

Disciplinary Action

Attachments

- Home General Information People Ops & Talent Acquisition Information Technology (IT) Safety Management Accounting Development Construction

Maintenance: Landscape and Lawn Care

Department: Maintenance, Maintenance_Work Order

Date Last Updated: 9/9/2022

General Description

Description:

This policy details the steps for maintaining the Communities lawns and landscape.

Objective:

The purpose of this policy is to maintain the best curb appeal and appearance possible.

Responsibility:

The following employees and/or teams are responsible for completing this procedure.

Community Manager
Maintenance Team
Management Team
Service Technician

Steps to complete

1 Mowing and Trimming

- A. Do not mow when the lawn is wet, unless it is a necessity due to excessive rainfall.
- B. After each mowing, clear sidewalks and driveways of lawn clippings.
 - a. Clumps of grass need to immediately be raked and disposed of properly to prevent them from killing the grass.
- C. String trimming should be done with each mowing.
- D. Grass should be maintained at a 2" height.
 - a. If the grass is mown shorter than this height, the grass will turn brown and/or die.
 - b. If the grass is mown higher than this height, this will necessitate the need to rake the entire lawn.
 - c. If the grass is mown higher than this height, this will necessitate the need to rake the entire lawn.
- E. Mowing and trimming frequency will be adjusted, and eventually cease, when fall/winter weather causes the grass to go dormant for the colder seasons.
 - a. Mowing and trimming should commence when lawns have recovered from the winter and grown to a length of 3".

2 Landscaping

- A. Flower beds are to be weeded after mowing and trimming is complete.
- B. Areas that hold water or show erosion need to be corrected.
- C. Leaves should be raked up and disposed of properly to prevent them from killing the grass.
- D. Tree trimming should be done as needed.
- E. Shrubs should be trimmed twice a year.
- F. Dead grass areas in the lawn need to be properly seeded, mulched, and watered during the appropriate growing season for the region.
 - a. Inform the lawn treatment company of areas that have been re-seeded so that they do not over-treat them.

3 Lawn Treatment Applications

- A. The national vendor for lawn treatments is Tru-Green.
To contact Tru-Green, use the following email address: woda@trugreenmail.com.
 - a. The only communities exempt from Tru-Green lawn treatments are communities with no lawn or with organic lawn treatment commitments.
- B. In January of the current year, The Maintenance Department will send Tru-Green the current list of Woda Cooper Companies managed communities and addresses, noting which communities have been under management for less than a year.
 - a. Tru-Green will return current year pricing on the spreadsheet.

1. Regional Managers will review the current year pricing and submit any needed changes within one week.
 - b. Using fewer than the required number of treatments on communities under management for longer than one year will require explanation, and may only be done every other year.
- C. Communities under management for a year or longer will use the Three Application Program:
 - a. Minimum 3 applications of fertilizer to deliver nutrients and existing turf to insure maximum density and color
 - b. Spring pre-emergent for crabgrass control (12 weeks)
 - c. Minimum 2 applications of broadleaf weed control
- D. Communities under management for less than a year will have a single fertilizer application in the late summer/early fall.

Disciplinary Action

Warnings:

Employees who fail to comply with this policy may be subject to appropriate disciplinary action, up to and including immediate termination of employment.

Attachments

Attachments:

To open the document, click on the attachment.



[2021 Tru-Green National Lawn Chemical Contract](#)



[2020 TruGreen Contract](#)

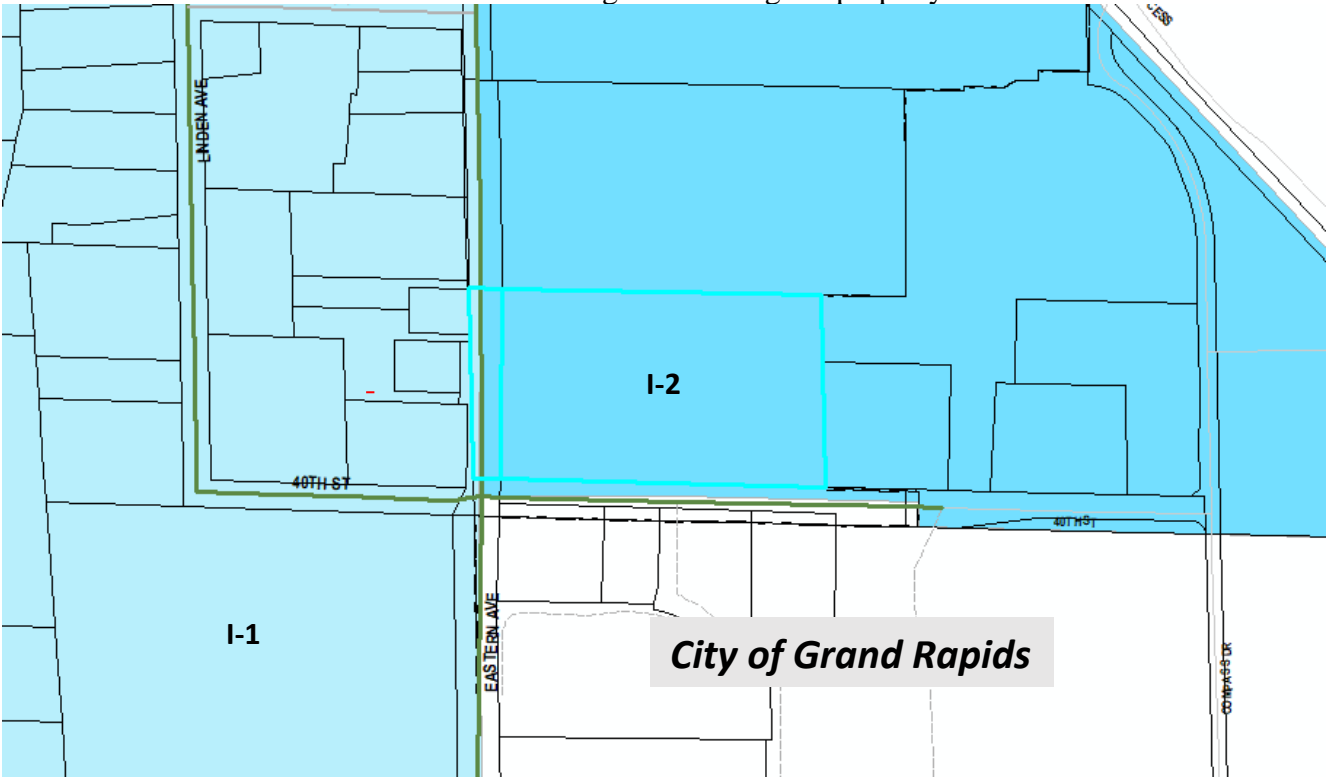
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WYOMING PLANNING COMMISSION
AGENDA ITEM
NO. 2

DATE DISTRIBUTED: October 25, 2023
PLANNING COMMISSION DATE: November 21, 2023
ACTION REQUESTED: Request for Special Use and Site Plan Approval
REQUESTED BY: Penske Trucking
REPORT PREPARED BY: Joe Blair - Planner II

GENERAL LOCATION DESCRIPTION:
The property is located at 3940 Eastern Avenue SW.

EXISTING ZONING CHARACTERISTICS:
This site is zoned I-2 General Industrial. Zoning surrounding the property follows:



North: I-2 General Industrial
South: SD-IT (City of Grand Rapids)
East: I-2 General Industrial
West: I-1 Light Industrial

EXISTING LAND USE:

The site currently has one central building on the 8.03 acre parcel, and the eastern face of said building is the location of the proposed addition. Uses surrounding the site are the following:



- North: Industrial – Conlan Tire Shop
- South: SD-IT (City of Grand Rapids) – Grand Rapids Machine Repair
- SD-IT (City of Grand Rapids) – Great Lakes Chemical
- SD-IT (City of Grand Rapids) – SME Engineering
- SD-IT (City of Grand Rapids) – Operating Engineers 324
- East: Industrial - Vacant
- Industrial – Bata Plastics
- West: Industrial – Discount Elite Distribution
- Industrial – Larry’s Lawn Service
- Industrial – National Hose Testing

PROJECT INFORMATION:

The applicant, Penske Trucking, is requesting special land use approval to use the site as a truck repair and body shop. In addition, the applicant has submitted plans for a 7,200 square foot building addition which would include a pair of bay doors to allow trucks to enter into the repair bay. Penske will conduct truck and trailer repairs consisting of general and preventative maintenance to their fleet such as clutched, oil changes, belt/bulb replacements, tune-ups, tire changes, collision repair, body repair, and paint work. The site will be in operation Monday-Friday from 6:00am to 11:00pm, with Saturday work done no later than 3:00pm. It is expected

Page 3

that the maximum number of employees working at the site will be 26 employees, operating in 2 shifts.

The existing building will continue to be utilized for operations. The existing parking lot contains 86 parking spaces, including two ADA accessible spaces.

CONFORMANCE WITH ORDINANCE STANDARDS AND FINDINGS OF FACT:

Two separate actions are required. The first is regarding the special approval request and the second relates to review of the site plan. Two sets of standards are, therefore, applicable and are addressed as follows:

Section 90-507(3) establishes general review standards for special approval uses:

- (a) *The possible substantial and permanent adverse effect on neighboring property.*
The proposed use is not expected to cause any adverse impact on the neighboring properties. The proposed use is located in an industrial district, and all proposed body work and painting will be held indoors.
- (b) *The consistency with the spirit, purpose and intent of this chapter.*
The proposed use would be consistent with the overall purpose of the zoning ordinance, as stated in Section 90-101.
- (c) *The possible adverse effect upon traffic as related to the streets, churches, schools and any buildings within the immediate area.*
The proposed use is not expected to significantly impact traffic flows. This was confirmed by the City's Engineering Department.
- (d) *The tendency of the proposed use to create any type of blight within the immediate area.*
It is unlikely that the proposed use will create blight within the immediate area. All proposed body work and painting will be held indoors.
- (e) *The economic feasibility for the area.*
The proposed use is economically feasible for the area.
- (f) *Any other factor as may relate to the public health, safety and welfare for persons and property.*
The proposed use is not expected to cause a negative public health effect on the surrounding area.
- (g) *That all other provisions of this chapter are met for the proposed use.*
There are no additional provisions that need to be met for the proposed use.

Section 90-505 specifies the standards to apply to site plan review:

- (1) *Adequacy of information. The site plan shall include all required information in sufficiently complete and understandable form to provide an accurate description of the proposed use(s) and structure(s).*

The site plan contains an appropriate amount of detail to sufficiently understand the proposed development.

- (2) *Buildings. Buildings and structures shall meet the minimum dimensional requirements of this article. Redevelopment of nonconforming structures shall bring the site into closer conformity to the extent deemed practical by the review authority. Expansions to nonconforming buildings shall be as provided for in section 90-903.*

The plan meets the minimum dimensional requirements.

- (3) *Privacy. The site design shall provide reasonable visual and sound privacy for dwelling units located adjacent to the site. Walls, berms, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of adjacent uses.*

The plan meets minimum requirements. The site is screened from adjacent properties by fencing.

- (4) *Preservation of natural areas. The landscape shall be preserved in its natural state, insofar as practicable, by strategic building placement, minimizing tree and soil removal, alteration to the natural drainage courses, and the amount of cutting, filling and grading. Insofar as practical, natural features and the site topography shall be incorporated into the proposed site design.*

Existing natural features will not be affected.

- (5) *Drainage. Stormwater management system and facilities shall preserve natural drainage characteristics and enhance the aesthetics of the site to the maximum extent possible, and shall not substantially reduce or increase the natural retention or storage capacity of any wetland, water body, or watercourse, or cause alterations which could increase flooding or water pollution on or off the site.*

Adequate drainage is provided.

- (6) *Soil erosion. Measures are included to prevent soil erosion and sedimentation.*

Adequate soil erosion measures are provided.

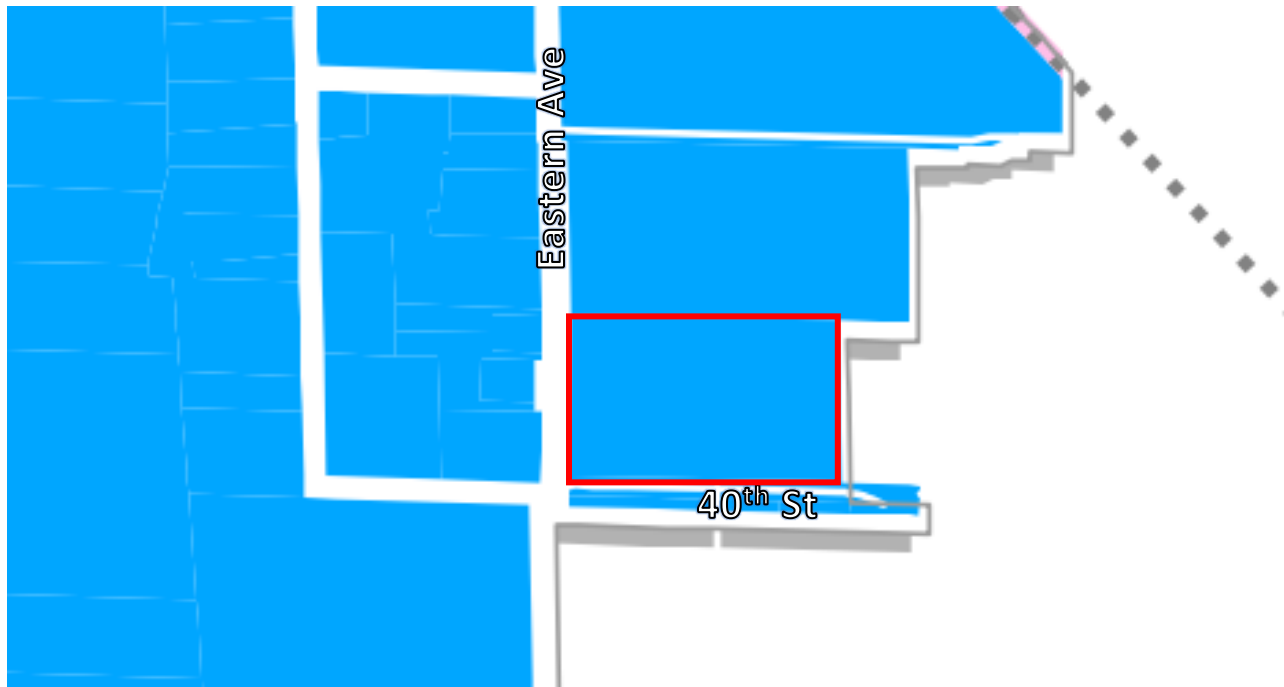
- (7) *Ingress and egress. Every structure and dwelling unit shall be provided with adequate means of ingress and egress via public streets and walkways. Access to the site shall be located and designed to ensure minimal impact on the safety and efficiency of traffic flow along all adjoining roadways. All access points shall comply with the access management requirements of section 90-603.*

Adequate ingress and egress are provided.

- (8) *Emergency vehicle access. All buildings and site circulation shall be arranged to permit emergency vehicle access by practicable means to all buildings and areas of the site.*
Adequate circulation and emergency vehicle access are provided, per Fire Dept review.
- (9) *Vehicular circulation layout. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian pathways in the area. Public streets adjacent or through the proposed development shall be required when it is essential to promoting and protecting public health, safety and general welfare and to provide continuity to the public road system.*
The circulation pattern is sufficient for access.
- (10) *Pedestrian circulation. The site plan shall provide a pedestrian circulation system which is insulated as completely as is reasonably possible from the vehicular circulation system.*
The site provides adequate pedestrian circulation.
- (11) *Traffic impact. The expected volume of traffic to be generated by the proposed use shall not adversely affect existing roads and traffic patterns. Roadway access shall minimize excessive vehicle traffic on local residential streets to reduce the possibility of any adverse effects upon adjacent property. Projects expected to have 50 or more peak hour directional trips or 500 or more vehicle trips daily shall provide a traffic impact study, as outlined in subsection 90-504(3), above.*
The proposed use is not expected to have an adverse effect upon existing roads and traffic patterns. This was confirmed by the City's Engineering Department.
- (12) *Public services. The scale and design of the proposed development shall facilitate the adequate provision of services currently furnished by or that may be required of the city or other public agency including, but not limited to, fire and police protection, stormwater management, sanitary sewage removal and treatment, traffic control and administrative services.*
The proposed development can be served by public services and utilities.
- (13) *Site redevelopment. Redevelopment of existing sites shall conform to the site improvement provisions of this article to the extent deemed practical by the reviewing authority. The extent of upgrade to site improvements shall be relative to and proportionate with the extent of redevelopment or expansion in accordance with the nonconforming site requirements of section 90-903.*
All site redevelopment standards will be met.

ALIGNMENT WITH MASTER PLAN:

The City’s Master Plan, Wyoming [re] Imagined was adopted in 2021. The future land use map identifies for the site to be planned for “Business Park,” which calls to “Give attention to design quality, landscaping, freight access, traffic impacts, and parking supply with new development within business parks”. While the proposed truck repair/detailing facility would align with this Industrial vision, the inclusion of a waiver in place of a landscaping plan during this site expansion is difficult to reconcile with the Master Plan’s attention to landscaping design.



RECOMMENDED CONDITIONS TO APPROVAL:

- 1.) All signage must comply with Article 7 of the Zoning Ordinance.
- 2.) Applicant will work with The City of Wyoming Fire Dept to address all review comments
 - a. Applicant must meet all fire codes through full plan review if building is modified.
 - b. Applicant must maintain fire access lane 20 ft. wide on the north side of 2290 C building to east fence and maintain service drive west of building for fire access.
- 3.) Applicant will work with The City of Wyoming Engineering Dept to address all review comments
 - a. Applicant will show wheel paths entering and exiting overhead doors on addition.
 - b. Applicant will show watermain restraint lengths and proposed fittings on the site plan.

Page 7

CONFORMANCE WITH THE CITY OF WYOMING SUSTAINABILITY PRINCIPLES:

Sustainability: The advancement and promotion, with equal priority, of environmental quality, economic strength, and social equity so that a stable and vibrant community can be assured for current and future generations.

The proposed project supports reinvestment in the community through the proposed improvements to the existing site and contributes to the City's economic strength and social equity. Overall, the proposed use conforms with the City of Wyoming Sustainability Principles.

PLANNING COMMISSION ACTION:

The Development Review Team recommends the Planning Commission grant special use approval for the proposed bodyshop 3940 Eastern Ave SW, and in a separate motion, grant site plan approval subject to conditions 1-3.

DEVELOPMENT REVIEW TEAM:

John McCarter, Interim City Manager

Myron Erickson, Director of Public Works

Lew Manley, Building Official

Kimberly Koster, Director of Public Safety

Nicole Hofert, Director of Community and Economic Development



Project Narrative Grand Rapids, MI September 10, 2023

Penske Truck Leasing Co, L.P. ("Penske") is proposing to continue operations at 3940 Eastern Ave., Grand Rapids, MI. Penske has completed a stock purchase of Star Truck Leasing and will continue operations in the same manner and form. These operations include a planned upgrade to the existing facility/systems with a state-of-the-art paint booth and additional prep bay measuring 30' x 120'. We intend to apply for site plan approval at the November 21 Planning Commission meeting.

Penske's intended use of the premises will also continue to operate Truck Leasing, Renting, Sales, Maintenance and Washing, including, but not limited to Fueling (only Penske vehicles and/or customers can wash or fuel on premises). In addition, Penske plans to continue to operate as collision repair, installation and operation of a paint booth, maintaining to full capacity, and repairing of both passenger cars and motor trucks, tractors and trailers.

Penske will conduct truck and trailer repairs consisting of general and preventative maintenance to our private and customer fleet (not open to the general public) such as clutches, oil changes, belt/bulb replacements, tune-ups, tire changes, collision repair, body repair, paint work, etc.

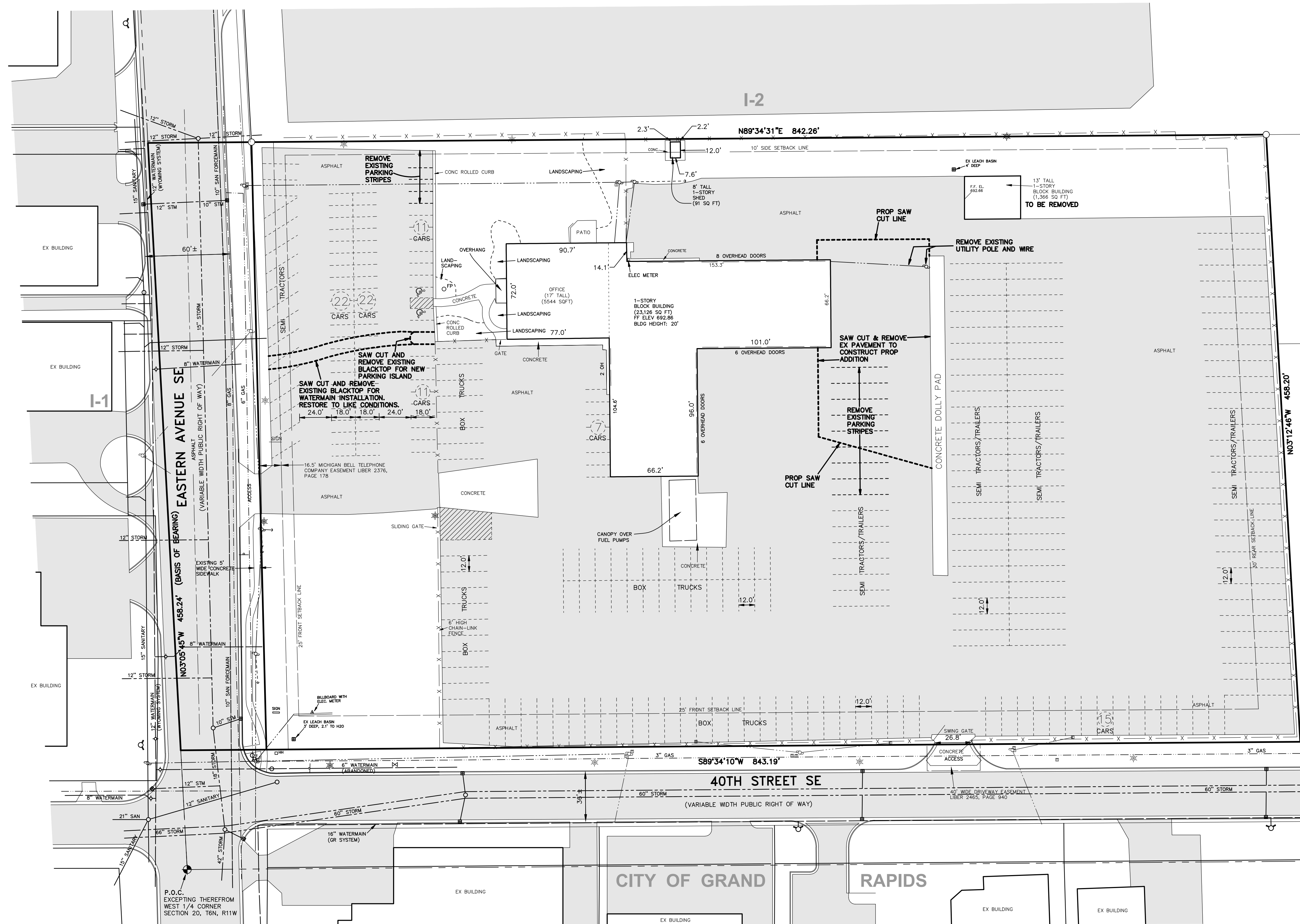
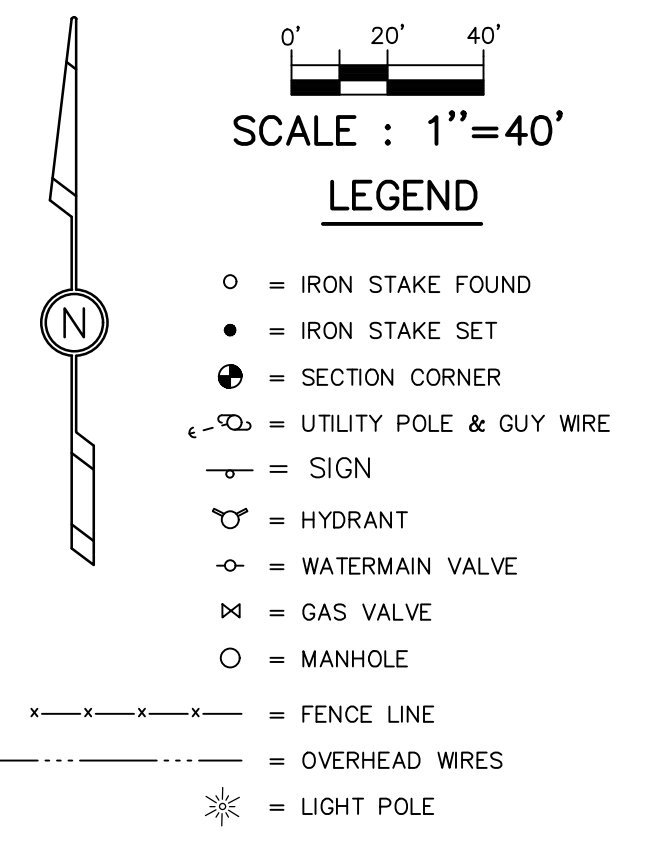
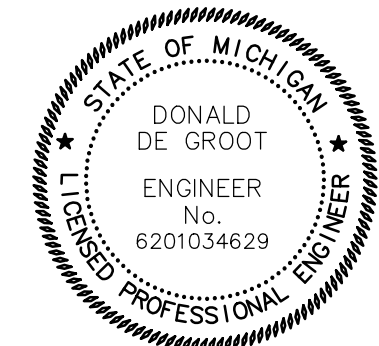
A high-level overview of our collision repair and replacement for our location:

- Penske Collision provides our customers with collision repair and replacement. focusing on body, frame, and box repair.
- Common work performed includes bumper and fender repair/replacement, overhead roof repair and replacement, frame straightening, as well as paint work for those repaired areas.
- Work is performed by Penske-trained technicians using standard repair processes and Penske-approved parts and materials.
- Penske Collision Repair locations will be utilizing a new paint system that offers a 57% reduction in VOC emissions over traditional paint systems.
- Penske Collision Repair uses the latest in collision-industry software to generate estimates and manage shop operations.

Work is performed on our owned units and customer base only, not open to the public, and by Penske-trained technicians. Work consists of lite to severe collision repair and replacement is focused on body, frame, and box repair with mediums including metals, fiberglass, composites/plastic, and glass.

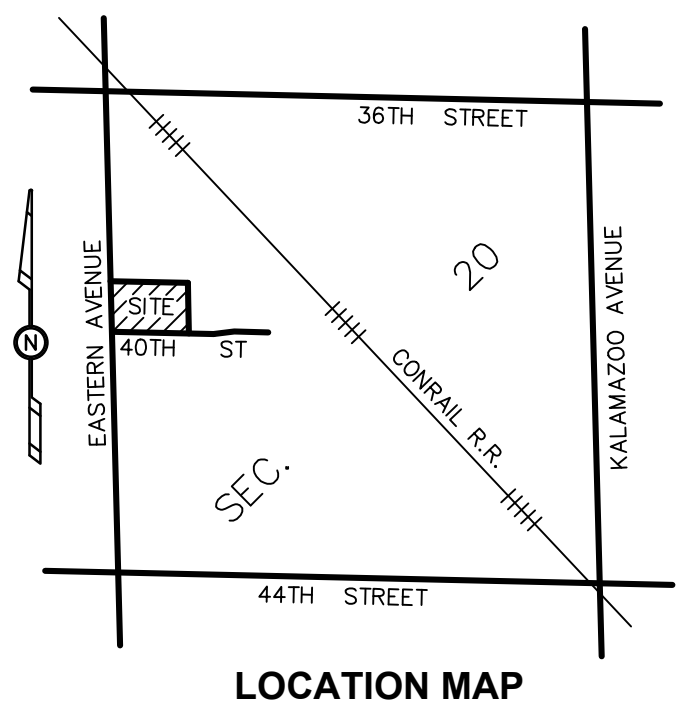
Location Information (Collision):

Penske operates 2 shifts, subject to change: M-F, 6AM – 11PM; Sat., 6AM – 3PM
3 – Office Staff (Collision)
18 – Fully certified Collision Technicians
5 – Admin Staff



CITY OF GRAND RAPIDS

- SHEET INDEX :**
1. EXISTING CONDITIONS AND DEMOLITION PLAN
 2. SITE LAYOUT PLAN
 3. SITE UTILITY PLAN
 4. SITE GRADING AND SOIL EROSION CONTROL PLAN



PARKING CALCULATION	
-REQUIRED: 2 SPACES FOR EACH STALL + 1 SPACE PER EMPLOYEE (REPAIR AREA)	
1 SPACE PER 400 SQFT GROSS FLOOR AREA (OFFICE)	
26 STALLS x 2:	52
14 EMPLOYEES:	14
5500 SQFT/400:	14
	80 SPACES REQUIRED
-EXISTING PARKING SPACES:	84

- GENERAL NOTES :**
1. LEGAL DESCRIPTION : THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF WYOMING, COUNTY OF KENT, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS: THE NORTH 458.24 FEET OF THE SOUTH 548.24 FEET OF THE WEST HALF OF THE NORTHWEST QUARTER, SECTION 20, TOWN 6 NORTH, RANGE 11 WEST; EXCEPTING THEREFROM THAT PART OF THE NORTHWEST QUARTER OF SAID SECTION 20, DESCRIBED AS : COMMENCING AT THE WEST QUARTER CORNER OF SECTION 20; THENCE NORTH 03 DEGREES 05 MINUTES 45 SECONDS WEST 90.0 FEET ALONG THE WEST LINE OF SECTION 20; THENCE NORTH 89 DEGREES 34 MINUTES 10 SECONDS EAST 843.19 FEET PARALLEL WITH THE EAST-WEST QUARTER LINE TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 03 DEGREES 12 MINUTES 46 SECONDS WEST 458.20 FEET; THENCE NORTH 89 DEGREES 34 MINUTES 10 SECONDS EAST 475.86 FEET; THENCE SOUTH 03 DEGREES 12 MINUTES 46 SECONDS EAST 458.23 FEET ALONG THE EAST LINE OF THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE SOUTH 89 DEGREES 34 MINUTES 10 SECONDS WEST 475.86 FEET TO THE PLACE OF BEGINNING.
 2. THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. MIF423-0397, DATED JANUARY 06, 2023.
 3. SUBJECT PARCELS CONTAINS 8.85 ACRES (385,506± SQUARE FEET), (INCLUDING RIGHT OF WAY) OR 8.10 ACRES (EXCLUDING RIGHT OF WAY).
 4. PERMANENT PARCEL #41-18-20-151-034
 5. PARCEL IS ZONED I-2
 6. NO NEW LANDSCAPING IS PROPOSED AND THEREFORE A WAIVER IS REQUESTED FOR PROVIDING A LANDSCAPE PLAN.
 7. NO STORMWATER DETENTION IS CURRENTLY PROVIDED ON SITE. THERE IS NO INCREASE IN IMPERVIOUS AREA AND THEREFORE NO CHANGE TO THE EXISTING DRAINAGE SYSTEM IS PROPOSED.
 8. NO NEW LIGHTING OR SIGNAGE IS PROPOSED.

EXISTING CONDITIONS AND DEMOLITION PLAN

3940 EASTERN AVE SE
 FOR: PENSKE TRUCK LEASING
 ATTN: MIKE BARNES (PHONE 602-253-0041)
 1711 W. GREENTREE DR. (STE. 117)
 TEMPE, AZ 85284
 PART OF THE NW 1/4, SECTION 20, T6N, R11W, CITY OF WYOMING, KENT COUNTY, MI

DATE	REVISION	BY	FILE NO.	DATE	PROJ. SURV.	SHEET
						1 of 4



DRAWN BY: JDR
 APPROVED BY: DDG
 FILE NO.: 231716E
 PROJ. ENG.: DJS
 DATE: 10/25/2023



0' 20' 40'

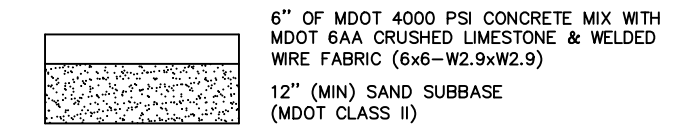
SCALE : 1"=40'

LEGEND

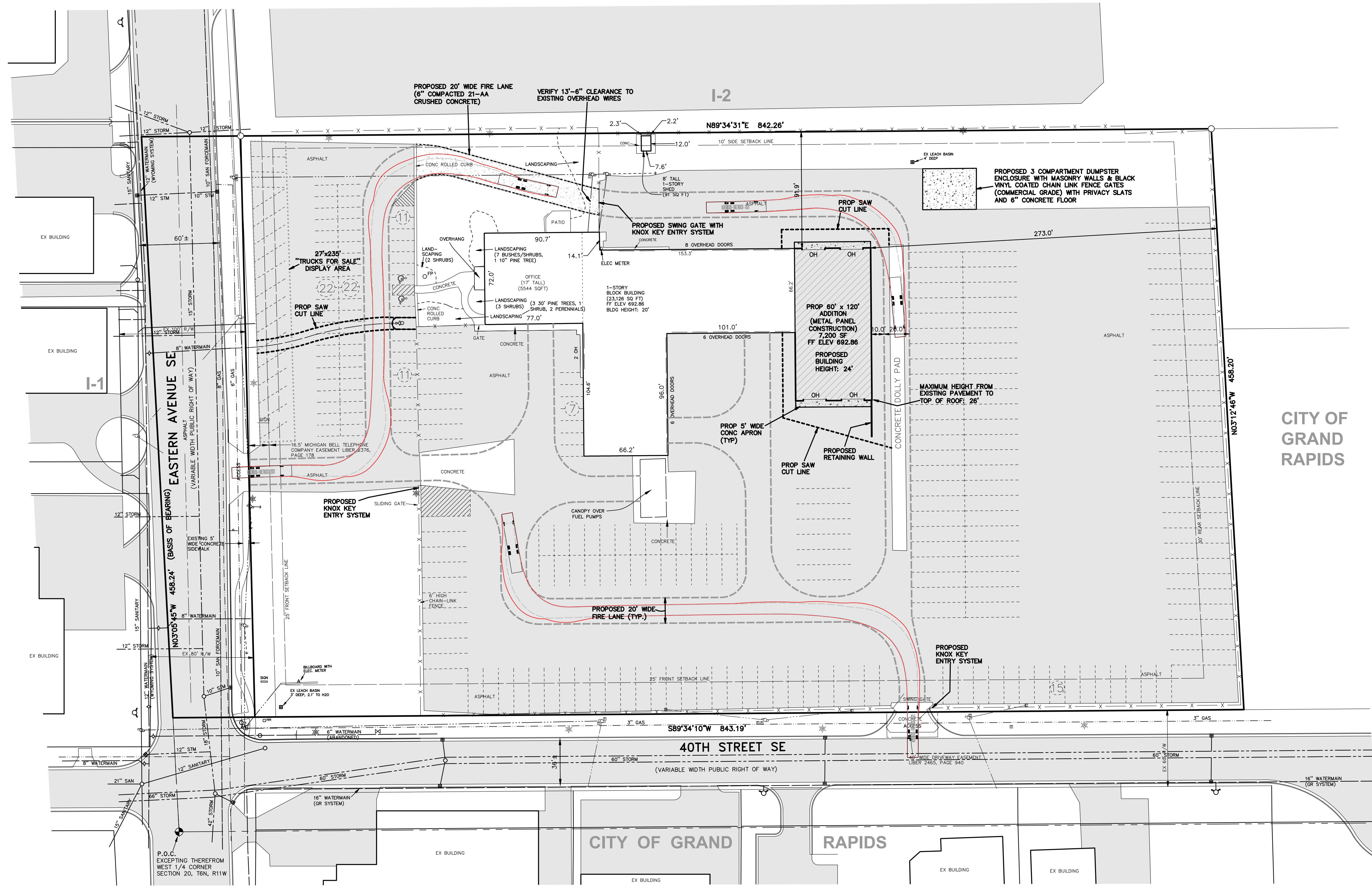
- = IRON STAKE FOUND
- = IRON STAKE SET
- = SECTION CORNER
- = UTILITY POLE & GUY WIRE
- = SIGN
- ⊕ = HYDRANT
- ⊕ = WATERMAIN VALVE
- ⊕ = GAS VALVE
- = MANHOLE
- = FENCE LINE
- = OVERHEAD WIRES
- ⊙ = LIGHT POLE

VEHICLE NAME = KENTWOOD FIRETRUCK

- = BODY OUTLINE
- = CHASSIS OUTLINE



6" HEAVY DUTY CONCRETE DETAIL



CITY OF GRAND RAPIDS

SITE LAYOUT PLAN

3940 EASTERN AVE SE
 FOR: PENSKE TRUCK LEASING
 ATTN: MIKE BARNES (PHONE 602-253-0041)
 1711 W. GREENTREE DR. (STE. 117)
 TEMPE, AZ 85284
 PART OF THE NW 1/4, SECTION 20, T6N, R11W, CITY OF WYOMING, KENT COUNTY, MI



DRAWN BY: JDR	PROJ. ENG.: DJS	SHEET 2 of 4
APPROVED BY: DDG	PROJ. SURV.:	
DATE:	REVISION:	DATE: 10/25/2023
BY:	FILE NO.: 231716E	



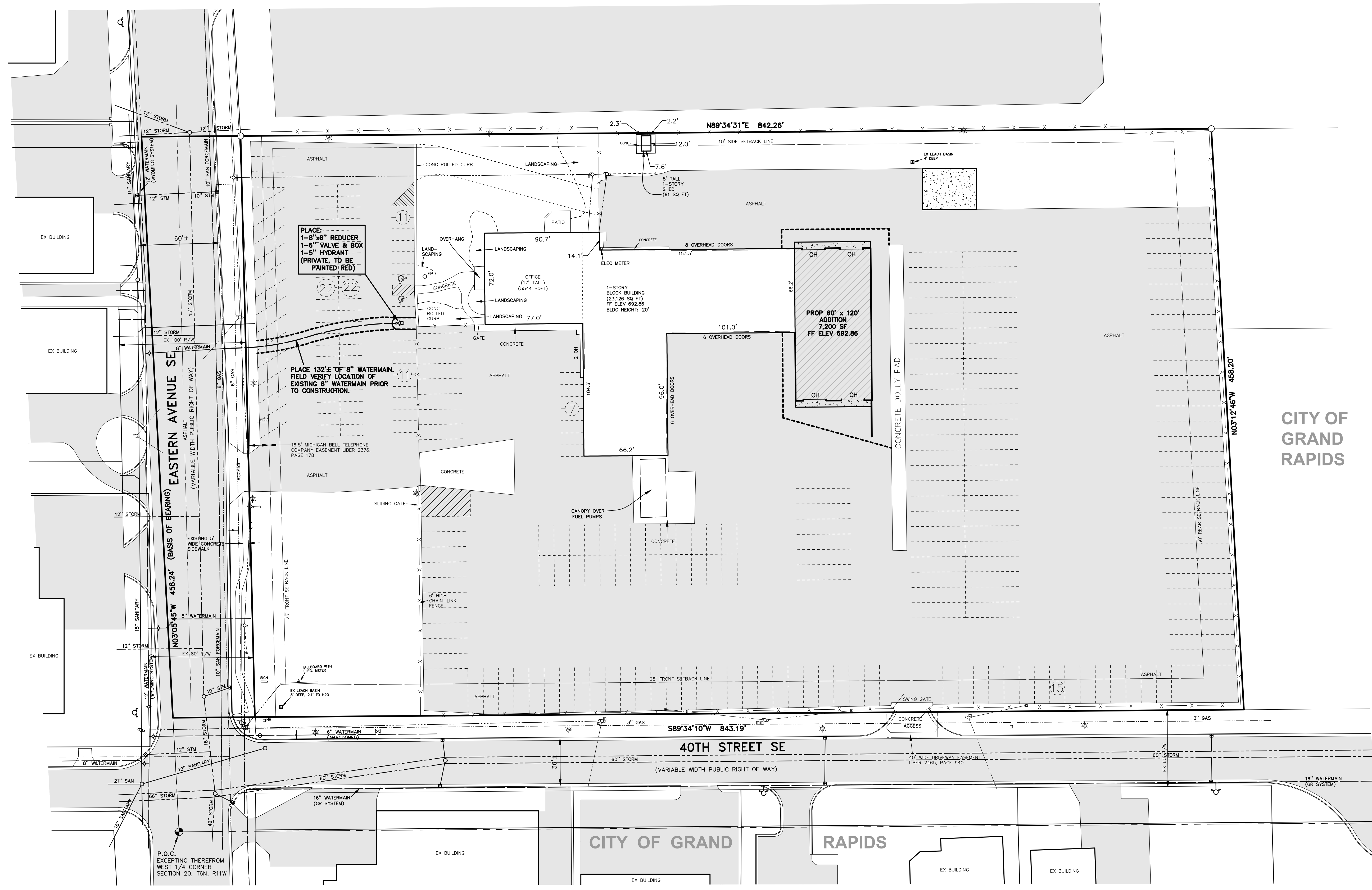
Know what's below.
Call before you dig.



SCALE : 1"=40'

LEGEND

- = IRON STAKE FOUND
- = IRON STAKE SET
- = SECTION CORNER
- ⊕ = UTILITY POLE & GUY WIRE
- ⊕ = SIGN
- ⊕ = HYDRANT
- ⊕ = WATERMAIN VALVE
- ⊕ = GAS VALVE
- ⊕ = MANHOLE
- = FENCE LINE
- = OVERHEAD WIRES
- ★ = LIGHT POLE



CITY OF GRAND RAPIDS

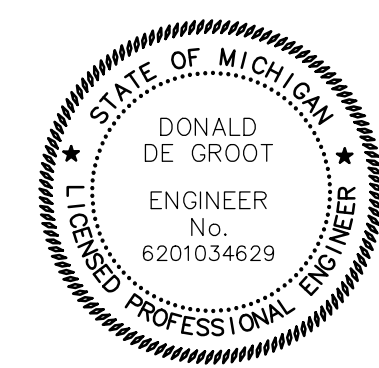
CITY OF GRAND RAPIDS

SITE UTILITY PLAN
3940 EASTERN AVE SE
 FOR: PENSKE TRUCK LEASING
 ATTN: MIKE BARNES (PHONE 602-253-0041)
 1711 W. GREENTREE DR. (STE. 117)
 TEMPE, AZ 85284
 PART OF THE NW 1/4, SECTION 20, T6N, R11W, CITY OF WYOMING, KENT COUNTY, MI

DATE	REVISION	BY	FILE NO.	PROJ. ENG.	DATE	SHEET
			231716E	DJS	10/25/2023	3 of 4

excel engineering, inc.
 planners • engineers • surveyors
 5252 Clyde Park, S.W. • Grand Rapids, MI 49509
 Phone: (616) 531-3660 www.excelengineering.com

DRAWN BY: JDR
 APPROVED BY: DDG
 PROJ. SURV.:
 DATE: 10/25/2023



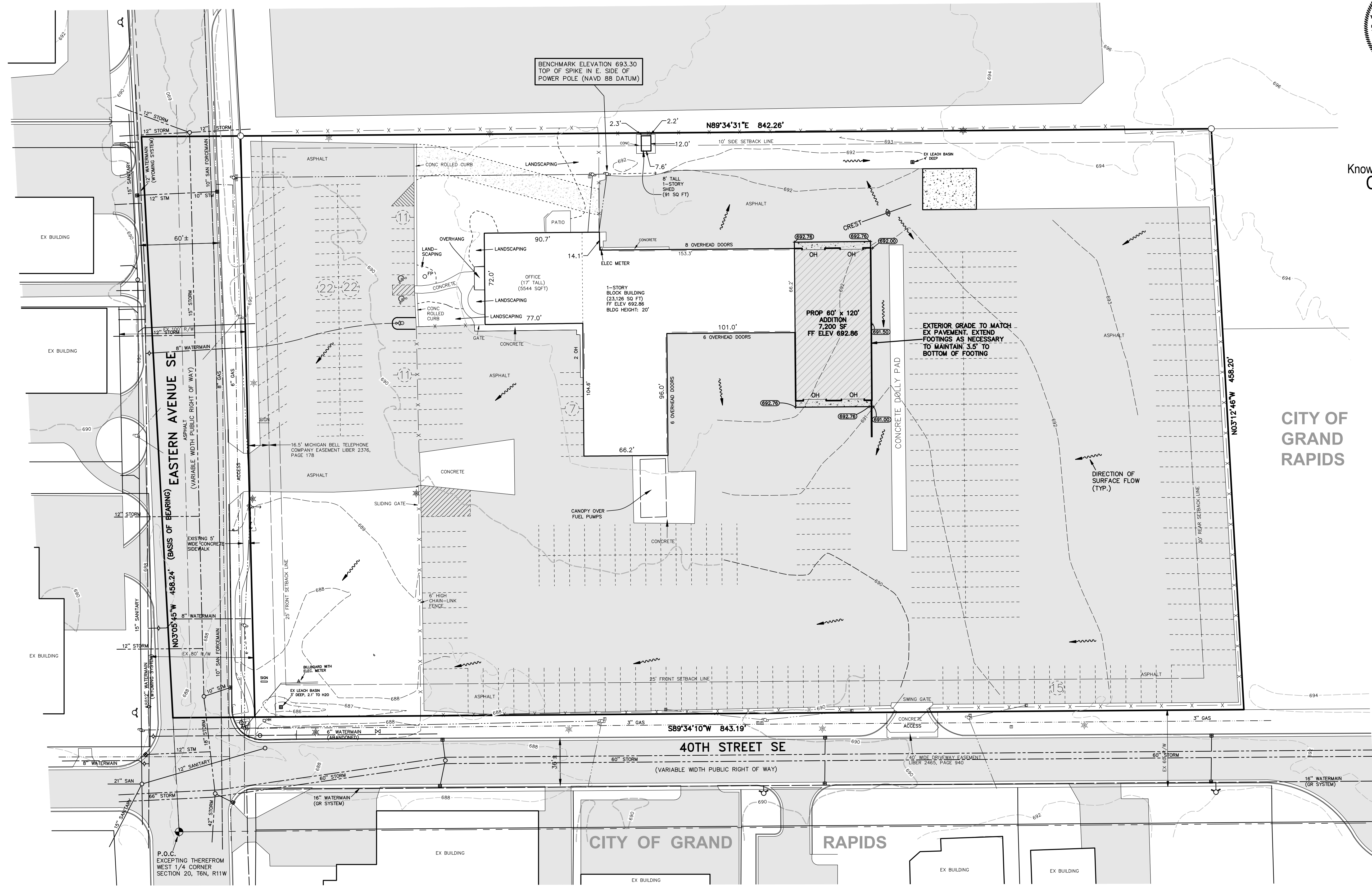
Know what's below.
Call before you dig.

0' 20' 40'

SCALE : 1"=40'

LEGEND

- XXX--- = PROPOSED CONTOUR
- - - - - = EXISTING CONTOUR
- XXX.XX = PROPOSED SPOT ELEVATION
- XXX--- = EXISTING SPOT ELEVATION
- S-S = SILT FENCE
- = SILT SACK
- ⊞ = YARD DRAIN PROTECTION



CITY OF GRAND RAPIDS

CITY OF GRAND RAPIDS

SITE GRADING AND SOIL EROSION CONTROL PLAN
3940 EASTERN AVE SE
 FOR: PENSKE TRUCK LEASING
 ATTN: MIKE BARNES (PHONE 602-253-0041)
 1711 W. GREENTREE DR. (STE. 117)
 TEMPE, AZ 85284
 PART OF THE NW 1/4, SECTION 20, T6N, R11W, CITY OF WYOMING, KENT COUNTY, MI

DATE	REVISION	BY	FILE NO.:	231716E	DATE:	10/25/2023	SHEET	4 of 4
DRAWN BY:		JDR	APPROVED BY:		DDG	PROJ. SURV.:		
DRAWN BY:		JDR	APPROVED BY:		DDG	PROJ. ENG.:	DJS	
DRAWN BY:		JDR	APPROVED BY:		DDG	PROJ. SURV.:	DJS	



WYOMING PLANNING COMMISSION
 AGENDA ITEM
 NO. 3

DATE DISTRIBUTED: October 10th, 2023

PLANNING COMMISSION DATE: November 14, 2023

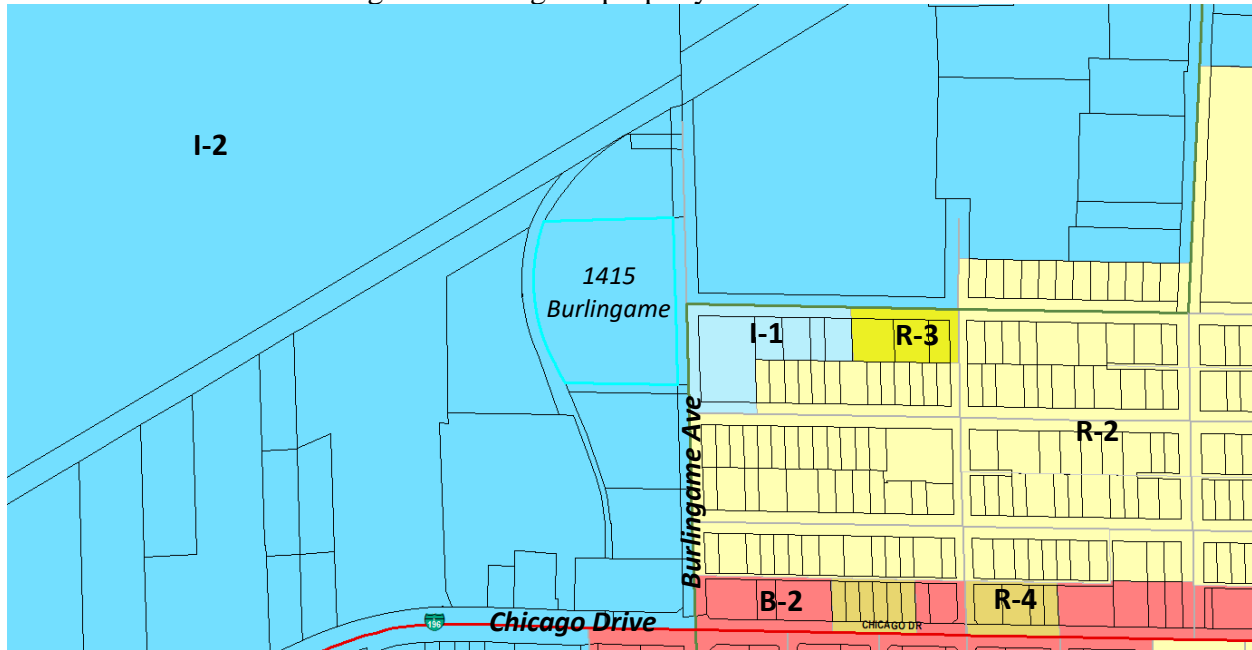
ACTION REQUESTED: Request for Site Plan Approval for a building addition

REQUESTED BY: Michigan Foam Products

REPORT PREPARED BY: Joe Blair, Planner II

GENERAL LOCATION AND DESCRIPTION:
 The property is located at 1415 and 1425 Burlingame Ave SW

EXISTING ZONING CHARACTERISTICS:
 This site is zoned I-3. Zoning surrounding the property follows:



North: I-2 General Industrial

South: I-2 General Industrial

East: I-1 Light Industrial, I-2 General Industrial

West: I-2 General Industrial

EXISTING LAND USE:

The site is currently home to Michigan Foam Products' 39,910 square foot facility. Land uses surrounding the site are as follows:



North: Industrial – Calumet Building Group, Air Components

South: Industrial – Consumer's Concrete

East: Industrial – R & M Fabrication, Quality Sandblasting

West: Industrial – Hausman Steel / ABC Coating Company

PROPOSED LAND USE:

Michigan Foam Products, a wholesale grocery distribution company, is proposing to construct a 28,270 square foot building addition onto its existing 39,910 square foot facility. This addition is proposed to the north of the existing building, along the north face of the facility, to provide additional space for the existing use to expand. The property contains 4.16 total acres of land and can currently be accessed on the east side of the lot off of Burlingame Avenue. An additional access drive is being proposed on the northeast side of the property along Burlingame Avenue, with additional loading docks for the proposed addition. The site will provide 44 total parking spaces.

CONFORMANCE WITH ORDINANCE STANDARDS AND FINDINGS OF FACT:

Section 90-505 specifies the standards to apply to site plan review:

- (1) *Adequacy of information. The site plan shall include all required information in sufficiently complete and understandable form to provide an accurate description of the proposed use(s) and structure(s).*

The site plan contains an appropriate amount of detail to sufficiently understand the proposed development.

- (2) *Buildings. Buildings and structures shall meet the minimum dimensional requirements of this article. Redevelopment of nonconforming structures shall bring the site into closer conformity to the extent deemed practical by the review authority. Expansions to nonconforming buildings shall be as provided for in section 90-903.*

The plan meets the minimum dimensional requirements.

- (3) *Privacy. The site design shall provide reasonable visual and sound privacy for dwelling units located adjacent to the site. Walls, berms, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of adjacent uses.*

The plan meets minimum requirements.

- (4) *Preservation of natural areas. The landscape shall be preserved in its natural state, insofar as practicable, by strategic building placement, minimizing tree and soil removal, alteration to the natural drainage courses, and the amount of cutting, filling and grading. Insofar as practical, natural features and the site topography shall be incorporated into the proposed site design.*

Existing natural features will be maintained and are not affected by the proposed development.

- (5) *Drainage. Stormwater management system and facilities shall preserve natural drainage characteristics and enhance the aesthetics of the site to the maximum extent possible, and shall not substantially reduce or increase the natural retention or storage capacity of any wetland, water body, or watercourse, or cause alterations which could increase flooding or water pollution on or off the site.*

Developer will work with Engineering Department to confirm adequate stormwater management at the site.

- (6) *Soil erosion. Measures are included to prevent soil erosion and sedimentation.*

Appropriate measures are provided.

(7) *Ingress and egress. Every structure and dwelling unit shall be provided with adequate means of ingress and egress via public streets and walkways. Access to the site shall be located and designed to ensure minimal impact on the safety and efficiency of traffic flow along all adjoining roadways. All access points shall comply with the access management requirements of section 90-603.*

Adequate ingress and egress are provided.

(8) *Emergency vehicle access. All buildings and site circulation shall be arranged to permit emergency vehicle access by practicable means to all buildings and areas of the site.*

Adequate circulation and emergency vehicle access are provided.

(9) *Vehicular circulation layout. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian pathways in the area. Public streets adjacent or through the proposed development shall be required when it is essential to promoting and protecting public health, safety and general welfare and to provide continuity to the public road system.*

Adequate vehicular circulation is provided.

(10) *Pedestrian circulation. The site plan shall provide a pedestrian circulation system which is insulated as completely as is reasonably possible from the vehicular circulation system.*

The site has limited internal pedestrian circulation.

(11) *Traffic impact. The expected volume of traffic to be generated by the proposed use shall not adversely affect existing roads and traffic patterns. Roadway access shall minimize excessive vehicle traffic on local residential streets to reduce the possibility of any adverse effects upon adjacent property. Projects expected to have 50 or more peak hour directional trips or 500 or more vehicle trips daily shall provide a traffic impact study, as outlined in subsection 90-504(3), above.*

No adverse impact on existing roads or traffic patterns are anticipated. The City's Engineering Department has confirmed that a traffic impact analysis report is not necessary for this project.

(12) *Public services. The scale and design of the proposed development shall facilitate the adequate provision of services currently furnished by or that may be required of the city or other public agency including, but not limited to, fire and police protection, stormwater management, sanitary sewage removal and treatment, traffic control and administrative services.*

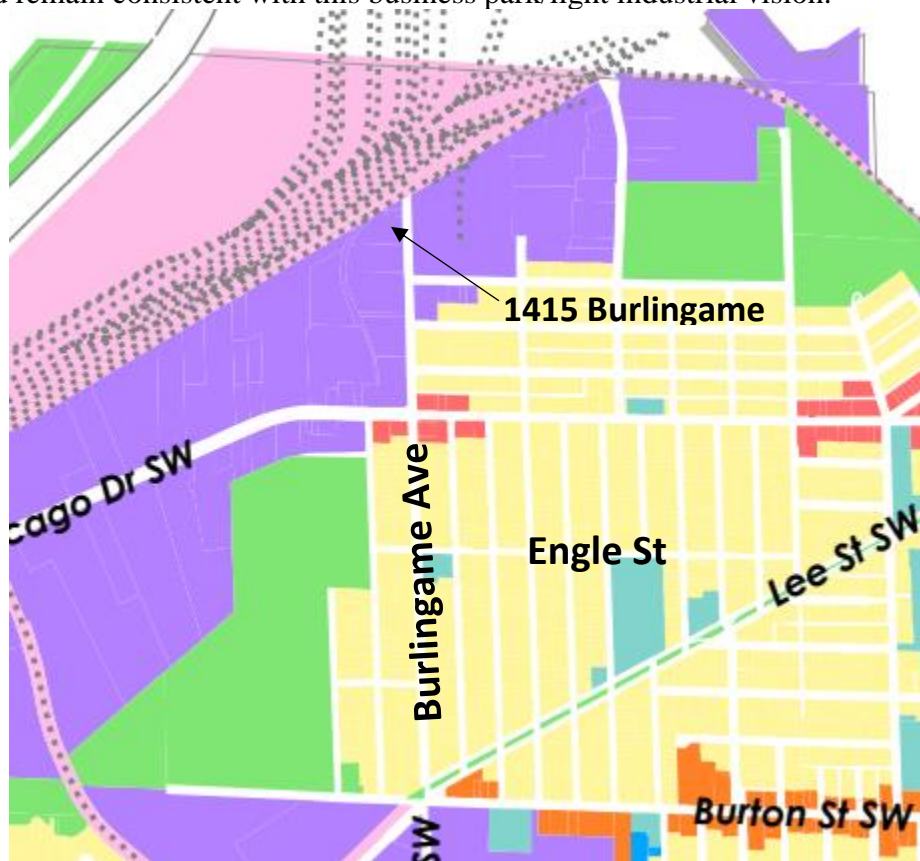
The site can be serviced by existing public utilities and services.

(13) *Site redevelopment. Redevelopment of existing sites shall conform to the site improvement provisions of this article to the extent deemed practical by the reviewing authority. The extent of upgrade to site improvements shall be relative to and proportionate with the extent of redevelopment or expansion in accordance with the nonconforming site requirements of section 90-903.*

Site improvement provisions will be met.

ALIGNMENT WITH MASTER PLAN:

The City’s Master Plan, Wyoming [re] Imagined was adopted in 2021. The future land use map identifies for the site to be planned for “Industrial” uses. The proposed building addition and its usage would remain consistent with this business park/light industrial vision.



RECOMMENDED CONDITIONS TO APPROVAL:

- 1) Developer will coordinate with the City of Wyoming Engineering Dept to address comments made in their review:
 - a. A retention basin HWL of 608.59 feet is specified on the plans; however, in the retention storage calculation table the basin has a storage volume of 1.14 acre-feet (49,850 cubic feet) at an elevation of 609 feet. Based on the LGROW spreadsheet flood control results, should the HWL be at 609 feet? Please clarify.
 - b. Provide a spill containment cell instead of a forebay for the retention basin. A

spill containment cell is similar to a forebay, but also includes an impervious liner and backwards-laid outlet pipe to trap a floatable pollutant. Additional information on spill containment cells may be found on Page 53 of Appendix 3 in the Wyoming Stormwater Standards Manual.

- c. Provide soil bore or test pit results in the vicinity of the proposed retention basin.
 - d. Specify the seed mix proposed for the retention basin. I recommend planting a rain garden or bio-infiltration mix.
 - e. Install SESC blanket or equal to stabilize the pond banks.
 - f. Provide a 10-foot offset between the basin HWL and adjacent property lines.
 - g. Include a note that the retention basin will be the first item of construction.
 - h. Please show the easement for the existing sanitary sewer extending through the site. The existing easement appears to only be about 10 feet wide. Since the sewer in that area is a little over 10 feet deep, the City may request a wider easement.
 - i. Proposed drive construction shall accommodate access to the north.
- 2) Developer will coordinate with Fire Department to address comments made in their review:
- a. Private hydrants need to be painted red.
 - b. Fire access lanes will need to be maintained around the building and the east side of the new addition parking lot will be used as a fire access lane. Signage will be required on the north fire lane and west turn around lane.
 - c. Developer must provide Knox Fire access systems.

CONFORMANCE WITH THE CITY OF WYOMING SUSTAINABILITY PRINCIPLES:

Sustainability: The advancement and promotion, with equal priority, of environmental quality, economic strength, and social equity so that a stable and vibrant community can be assured for current and future generations.

The proposed project supports continued redevelopment on existing industrial uses. Overall, the proposed development conforms with the City of Wyoming Sustainability Principles.

PLANNING COMMISSION ACTION:

The Development Review Team recommends that the Planning Commission grant Site Plan Approval for construction of the proposed building addition at 1415-1425 Burlingame, subject to conditions 1-2.

DEVELOPMENT REVIEW TEAM:

John McCarter, Deputy City Manager
 Rebecca Rynbrandt, Director of Community Services
 Myron Erickson, Director of Public Works
 Lew Manley, Building Official
 Kimberly Koster, Director of Public Safety
 Nicole Hofert, Director of Planning and Economic Development



October 2, 2023

Ms. Nicole Hofert- Director of Community and Economic Development
City of Wyoming
1155 28th Street SW
Wyoming, MI 49418

RE: Michigan Foam Products Site Plan Review – 1425 Burlingame Avenue SW
City of Wyoming, Kent County, Michigan

Dear Ms. Hofert:

Enclosed please find nine (9) sets of the Michigan Foam Products Site Plan submittal packet for administrative review and approval.

The review package includes the following items:

1. Cover Letter
2. Narrative
4. Site Plan Set
5. Stormwater Calculations
5. Building Elevations & Floorplans
6. Site Plan Review Application (signed)
7. Copy of application payment

A check in the amount of \$300 is included in the submittal packet as payment for the application fee. Should you have any questions or require additional information, please don't hesitate to contact me at (616) 575-5190 or via email at jdepoy@nederveld.com.

Sincerely,

A handwritten signature in blue ink that reads "Jonathan DePoy".

Jonathan DePoy
Project Manager

Enclosures

Michigan Foam Products

City of Wyoming



PROJECT NARRATIVE

PROJECT OVERVIEW

Located at 1820 Chicago Drive SW, right next to Valley Truck Parts, Michigan Foam Products is a large family-owned company that has grown to be one of the leading manufacturers of EPS Foam (lightweight polystyrene insulation) in the Midwest and Canada. Since establishing operation in 1972, Michigan Foam Products has embedded itself in the City of Wyoming's community, regularly donating to High-School athletics and providing reliable good paying jobs to residents living in the area.

Michigan Foam Products is seeking to relocate to 1425 Burlingame Avenue SW to accommodate their expanding business. The proposed site plan includes the renovation of the existing structure at 1425 Burlingame Avenue SW and a 28,270 square foot building expansion (less than 50% of existing building). This new location will allow Michigan Foam Products to increase manufacturing capacity by up to 50%, creating numerous employment opportunities for the residents of the City of Wyoming.

The site plan has been designed to meet municipal and county review standards including emergency fire access for the City of Wyoming's Fire Department.

RESPONSE TO SECTION 90-505—SITE PLAN REVIEW STANDARDS

[Sec. 90-505 (1): Adequacy of information]

The site plan shall include all required information in sufficiently complete and understandable form to provide an accurate description of the proposed use(s) and structure(s).

The plan set included in the submittal packet complies with all of the requirements identified in the City of Wyoming's Zoning ordinance. See table 90-504.

[Sec. 90-505 (2): Buildings]

Buildings and structures shall meet the minimum dimensional requirements of this article. Redevelopment of nonconforming structures shall bring the site into closer conformity to the extent deemed practical by the review authority. Expansions to nonconforming buildings shall be as provided for in section 90-903.

Standard met.

[Sec. 90—505 (3): Privacy]

The site design shall provide reasonable visual and sound privacy for dwelling units located adjacent to the site. Walls, berms, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of adjacent uses.

The are no dwelling units located adjacent to the site.

[Sec. 90-505 (4): Preservation of natural areas]

The landscape shall be preserved in its natural state, insofar as practicable, by strategic building placement, minimizing tree and soil removal, alteration to the natural drainage courses, and the amount of cutting, filling and grading. Insofar as practical, natural features and the site topography shall be incorporated into the proposed site design.

The proposed building expansion is located on a vacant lot in the City of Wyoming with little natural features to preserve. The proposed grading plan takes into account the site's topography which has been incorporated into the stormwater management plan for the site.

[Sec. 90-505 (5): Drainage]

Stormwater management system and facilities shall preserve natural drainage characteristics and enhance the aesthetics of the site to the maximum extent possible, and shall not substantially reduce or increase the natural retention or storage capacity of any wetland, water body, or watercourse, or cause alterations which could increase flooding or water pollution on or off the site.

In addition to meeting municipal and county review standards, the proposed stormwater management system takes into account the site's natural topography and preserves natural drainage characteristics. The proposed grading plan will improve the natural aesthetics of the site and will not impact the storage capacity of any wetland, water body, or watercourse, or cause alterations which could increase flooding or water pollution on or off the site.

[Sec. 90-505 (6): Soil Erosion]

Measures are included to prevent soil erosion and sedimentation.

Soil erosion and sedimentation control measures such as silt fencing and other best management practices will be employed to control soil erosion.

[Sec. 90-505 (7): Ingress and egress]

Every structure and dwelling unit shall be provided with adequate means of ingress and egress via public streets and walkways. Access to the site shall be located and designed to ensure minimal impact on the safety and efficiency of traffic flow along all adjoining roadways. All access points shall comply with the access management requirements of section 90-603.

The layout has been designed for safe vehicular and pedestrian flow of traffic including emergency fire access for the City of Wyoming's Fire Department. The City's engineers have reviewed the proposed plan and provided comment on the entrance.

[Sec. 90-505 (8): Emergency vehicle access]

All buildings and site circulation shall be arranged to permit emergency vehicle access by practicable means to all buildings and areas of the site.

To ensure that all buildings and areas of site are easily accessible for emergency vehicle access, the proposed site plan has been preliminarily reviewed by the City of Wyoming's Fire Department and designed to meet the required standards of review.

[Sec. 90-505 (9): Vehicular circulation layout]

The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian pathways in the area. Public streets adjacent or through the proposed development shall be required when it is essential to promoting and protecting public health, safety and general welfare and to provide continuity to the public road system.

The proposed site plan respects the existing and planned streets in the area by gaining access from Burlingame Avenue's public right-of-way. There are no existing or planned pedestrian pathways in this area of industrial use.

[Sec. 90-505 (10): Pedestrian circulation]

The site plan shall provide a pedestrian circulation system which is insulated as completely as is reasonably possible from the vehicular circulation system.

The layout has been designed for safe vehicular and pedestrian flow of traffic including emergency fire access for the City of Wyoming's Fire Department.

[Sec. 90-505 (11): Traffic impact]

The expected volume of traffic to be generated by the proposed use shall not adversely affect existing roads and traffic patterns. Roadway access shall minimize excessive vehicle traffic on local residential streets to reduce the possibility of any adverse effects upon adjacent property. Projects expected to have 50 or more peak hour directional trips or 500 or more vehicle trips daily shall provide a traffic impact study, as outlined in subsection 90-504(3), above.

The subject property is located in an area of industrial use in the City of Wyoming with frontage on Burlingame Avenue SW that is gated off to public access and comes to a dead end. The expected volume of traffic to be generated by the proposed use will not adversely affect the existing roads or traffic patterns in this area of industrial use.

[Sec. 90-505 (12): Public Service]

The scale and design of the proposed development shall facilitate the adequate provision of services currently furnished by or that may be required of the city or other public agency including, but not limited to, fire and police protection, stormwater management, sanitary sewage removal and treatment, traffic control and administrative services.

The proposed site plan is designed to comply with City or other public agency standards and will be reviewed in the construction permitting process.

[Sec. 90-505 (13): Site redevelopment]

Redevelopment of existing sites shall conform to the site improvement provisions of this article to the extent deemed practical by the reviewing authority. The extent of upgrade to site improvements shall be relative to and proportionate with the extent of redevelopment or expansion in accordance with the nonconforming site requirements of section 90-903.

Standard met.

LEGEND

AC	Hydrant	P	OH
Benchmark / Control Point	Iron - Set	Phone Riser	SS
Catch Basin - Round	Iron - Found	Stop Box	ST
Catch Basin - Square	Light Pole	Sign	W
Cable Riser	Mailbox	Sanitary Sewer Manhole	Fence
Deciduous Tree	Mis Dig Flag - Cable	Stormwater Manhole	Railroad
Electric Meter	Mis Dig Flag - Electric	Transformer	Tree
Evergreen Tree	Mis Dig Flag - Gas	Utility Pole	Asphalt
Flag	Mis Dig Flag - Sanitary	Water Valve	Concrete
Gas Valve	Mis Dig Flag - Water	Cable TV	Existing Building
Guy Anchor	Manhole	Underground Electric	
Guy Pole	Monitor Well	Gas	

TITLE DESCRIPTION

That part of the Northeast 1/4 of Section 3, Town 6 North, Range 12 West, described as: Commencing at a point on the East line of said Section 737.85 feet North of the East one-quarter corner of said Section, said point being 700 feet North of the centerline of Chicago Drive as now located, thence North on said Section line 231.9 feet; thence West 99.0 feet perpendicular to the East line of said Section; thence North 15.0 feet parallel with the East line of said Section; thence West 35.0 feet perpendicular to said Section line; thence North 40.0 feet parallel with the East line of said Section; thence West 305.55 feet perpendicular to said Section line to the Easterly line of the Chesapeake & Ohio Railway right of way (18 feet wide); thence Southeasterly 280.6 feet along the Easterly right of way line of said Railroad to a point which is 700 feet North of said centerline of Chicago Drive; thence South 86 degrees 56 minutes East 362.45 feet parallel with said centerline to the place of beginning.

AND

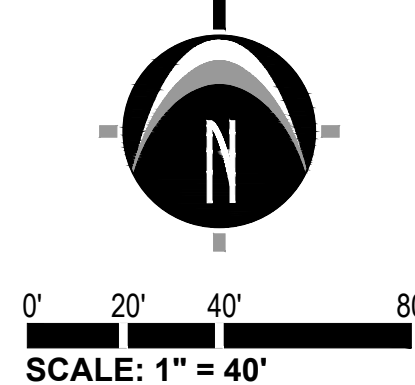
That part of the Northeast 1/4, Section 3, Town 6 North, Range 12 West, City of Wyoming, Kent County, Michigan, described as: Beginning at a point on the East line of Section 3, which is North 00 degrees 00 minutes 00 seconds East 969.75 feet from the East 1/4 corner of Section 3; thence South 90 degrees 00 minutes 00 seconds West 99.0 feet; thence North 00 degrees 00 minutes 00 seconds East 15.00 feet; thence South 90 degrees 00 minutes 00 seconds West 35.00 feet; thence North 00 degrees 00 minutes 00 seconds East 40.00 feet; thence North 90 degrees 00 minutes 00 seconds East 134.00 feet; thence South 00 degrees 00 minutes 00 seconds West 55.00 feet along the East line of Section 3 to the place of beginning.

AND

Part of the NE 1/4 of Section 3, Town 6 North, Range 12 West, City of Wyoming, Kent County, Michigan described as: Commencing on the East line of said Section 1024.75 feet North of the East 1/4 post; thence West perpendicular to said Section line 439.55 feet to the East line of the Railway right of way; thence Northeasterly 199.7 feet on said right of way line to a point 195 feet North of the first described course; thence East 403.1 feet parallel with the first described course to the said Section line; thence South 195 feet to beginning.

SCHEDULE B - SECTION II NOTES

- 8 Terms, conditions and provisions which are recited in Easement recorded in Liber 1999, Page 1376. The easement described in this document is shown on this survey.
 - 9 Terms, conditions and provisions which are recited in Easement recorded in Liber 1998, Page 417. The easement described in this document is a blanket easement.
 - 10 Terms, conditions and provisions which are recited in Joint Driveway Agreement recorded in Liber 1991, Page 1035. The easement described in this document is shown on this survey.
 - 11 Terms, conditions and provisions which are recited in Easement recorded in Liber 131M, Page 73. The easement described in this document is shown on this survey.
- The following matters as disclosed by survey dated May 17, 2016, prepared by Nederveld, being Job No. 16400433:
- a. Utility poles, hydrant, ventilator, monitoring wells, cable TV line, cable risers, underground telephone line and telephone riser on property.
 - b. Water line, gas line, overhead utility lines and storm sewer crossing property and property lines.
 - c. Fence inside, outside and crossing Northerly and Southerly property lines and inside Westerly property line.
 - d. Asphalt crossing Westerly property line.
 - e. Gravel crossing Northerly property line.
- The items described in this document is shown on this survey.



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 217 Grandville Ave., Suite 302
 Grand Rapids, MI 49503
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 INDIANAPOLIS

PREPARED FOR:

JAG Development Inc
 Todd Grasman

3714 28th Street SW
 Grandville, MI 49418

REVISIONS:

Title: Proposed Grading	Drawn: DCJW	Checked: RP	Date: 08.25.2023
Title: Proposed Site Plan	Drawn: DCJW	Checked: RP	Date: 09.15.2023
Title: Site Plan Submittal	Drawn: DCJW	Checked: RP	Date: 10.02.2023
Title: Existing Utility Revisions	Drawn: DCJW	Checked: RP	Date: 10.30.2023

MICHIGAN FOAM PRODUCTS

Existing Site Conditions Plan

1425 Burlingame Avenue SW
 PART OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R12W,
 CITY OF WYOMING, KENT COUNTY, MICHIGAN

STAMP:

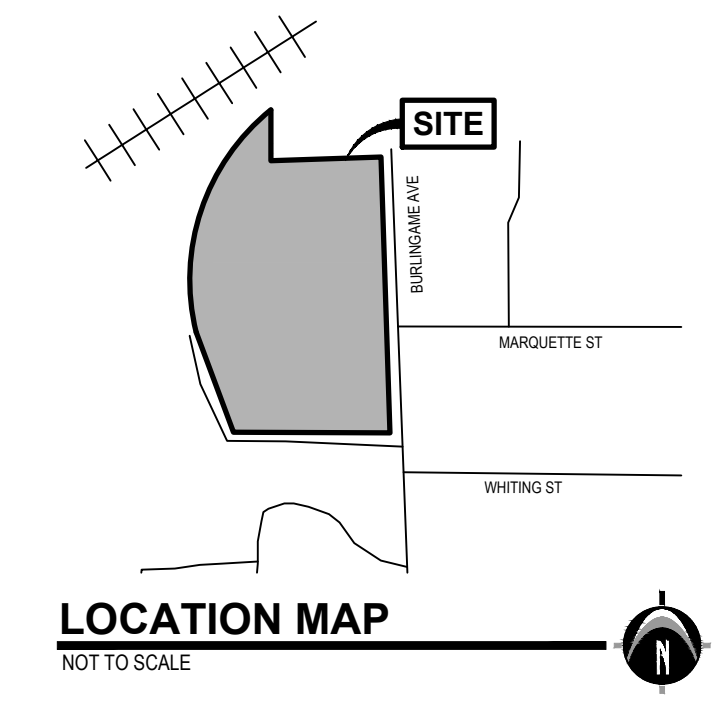
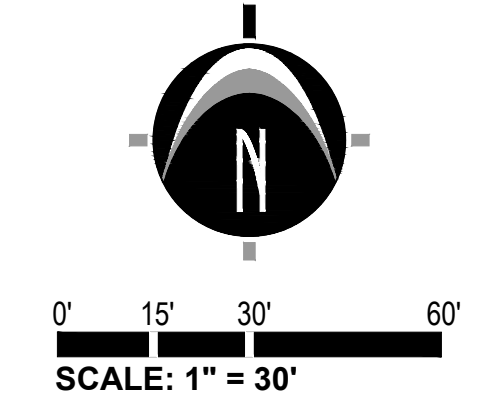
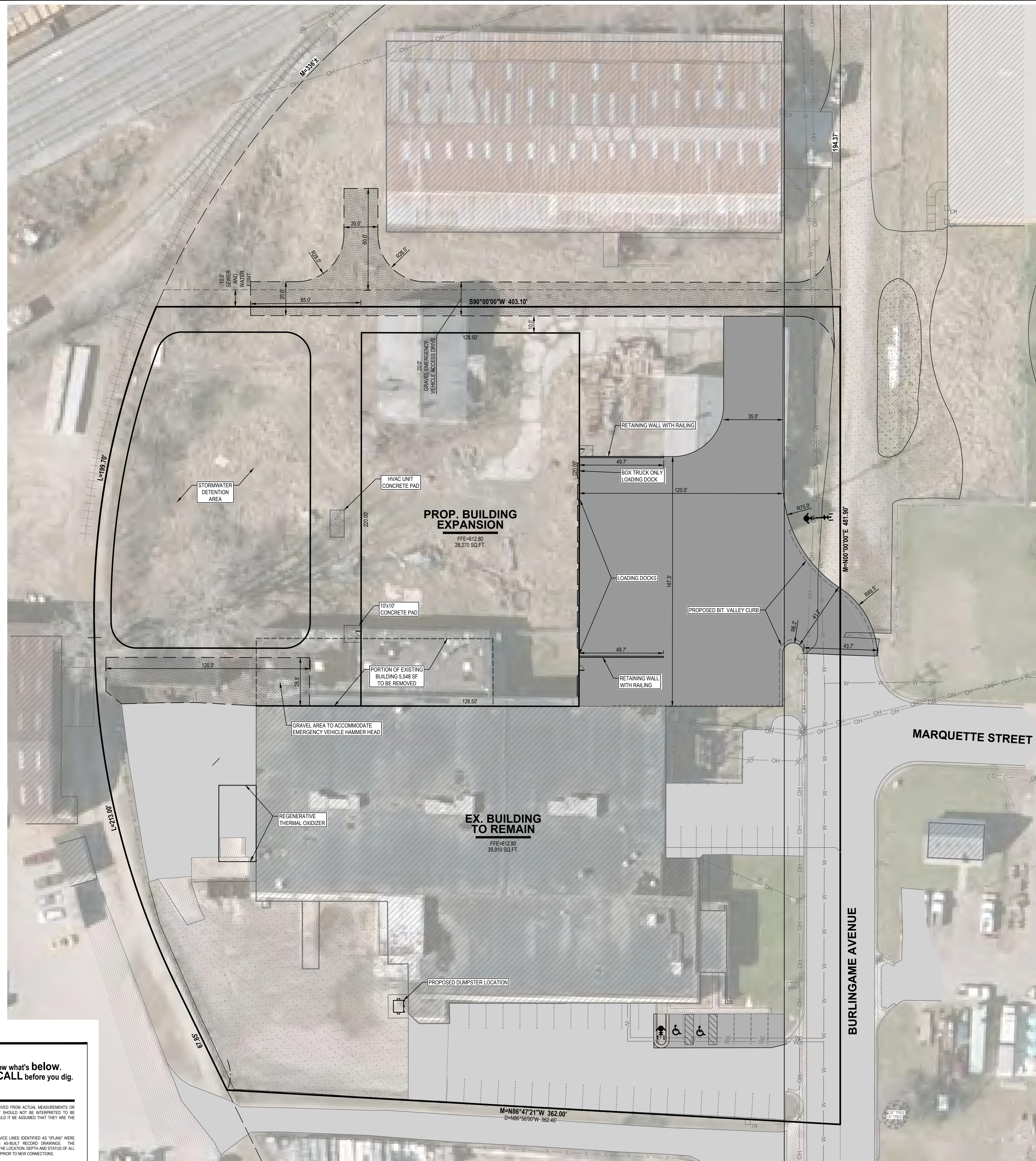


John W. Casserly

PROJECT NO:
22401252

SHEET NO:
C-201

SHEET: 1 OF 1



LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED BITUMINOUS (HEAVY DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED CONCRETE (HEAVY DUTY)

GENERAL NOTES

- ZONING OF PROPERTY: I-2 GENERAL INDUSTRIAL DISTRICT
I-2 ZONING REQUIREMENTS
A) MINIMUM LOT AREA = 43,560 SQ.FT.
B) MINIMUM LOT WIDTH = 100 FT.
C) MAXIMUM BUILDING HEIGHT = 45 FT.
SETBACKS:
A) FRONT YARD = 25 FT.
B) SIDE YARD = 10 FT.
C) REAR YARD = 30 FT.
- SUMMARY OF LAND USE:
A) TOTAL ACREAGE = 4.16 ACRES (181,412 SQ.FT.) (EXCLUDING R.O.W.)
B) AREA OF EXISTING INDUSTRIAL MANUFACTURING BUILDINGS = 43,560 SQ.FT.
C) TOTAL ALLOWABLE AREA OF BUILDING WITH 50% EXPANSION = 68,187 SQ.FT.
D) AREA OF BUILDING TO BE REMAIN AFTER PARTIAL REMOVAL = 39,910 SQ.FT.
E) AREA OF BUILDING PROPOSED = 28,270 SQ.FT.
F) TOTAL AREA OF BUILDING (PROPOSED + EX. TO REMAIN) = 68,180 SQ.FT.
G) BUILDING HEIGHT = APPROX. 30 FT.
H) ZONING OF PARCELS TO SOUTH AND WEST = I-2
ZONING OF PARCELS TO NORTH AND EAST = I-2 AND I-1
- PARKING REQUIREMENTS:
A) MINIMUM REQUIRED SPACE PER TOWNSHIP = 9x18' (24' DRIVE AISLE)
B) TYPICAL PARKING SPACE PROVIDED = 9x18' (24' DRIVE AISLE)
C) TYPICAL CAR ACCESSIBLE PARKING SPACE = 9x18' WITH 5' AISLE
D) TOTAL NUMBER OF SPACES PROVIDED = 41 SPACES (2 ACCESSIBLE SPACES)
- THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS FIXTURES.
- THE PERMANENT PARCEL NUMBER FOR THE SITE ARE 41-17-03-277-016.
- THE ADDRESS OF THE PROPERTY IS 1425 BURLINGAME AVE SW.

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PREPARED FOR:
JAG Development Inc
Todd Grasman

3714 28th Street SW
Grandville, MI 49418

REVISIONS:

Title: Proposed Grading	Drawn: DCJW	Checked: RP	Date: 08.25.2023
Title: Proposed Site Plan	Drawn: DCJW	Checked: RP	Date: 09.14.2023
Title: Site Plan Review Submittal	Drawn: TWDC	Checked: RP	Date: 09.28.2023

MICHIGAN FOAM PRODUCTS
Site Layout Plan
1425 Burlingame Avenue SW
PART OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R12W,
CITY OF WYOMING, KENT COUNTY, MICHIGAN

STAMP:

JOHN WILLIAM CASSERLY
License No. 6201063767
Professional Engineer

PROJECT NO:
22401252
SHEET NO:
C-205
SHEET: 1 OF 1

PREPARED FOR:
 JAG Development Inc
 Todd Grisman

3714 28th Street SW
 Grandville, MI 49418

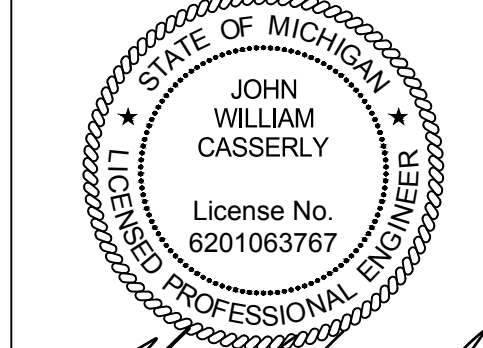
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MICHIGAN FOAM PRODUCTS

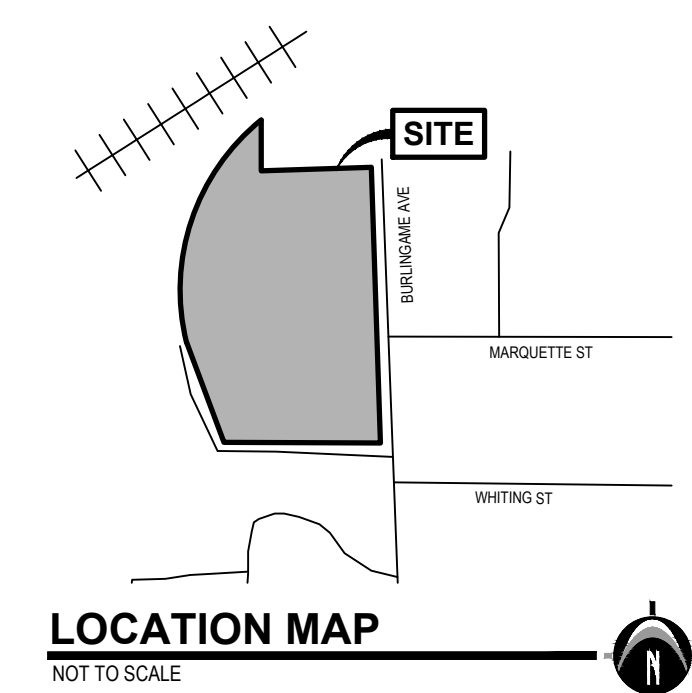
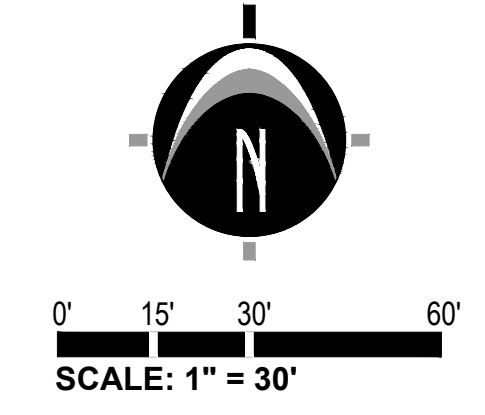
S.E.S.C. & Grading Plan
 1425 Burlingame Avenue SW
 PART OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R12W,
 CITY OF WYOMING, KENT COUNTY, MICHIGAN

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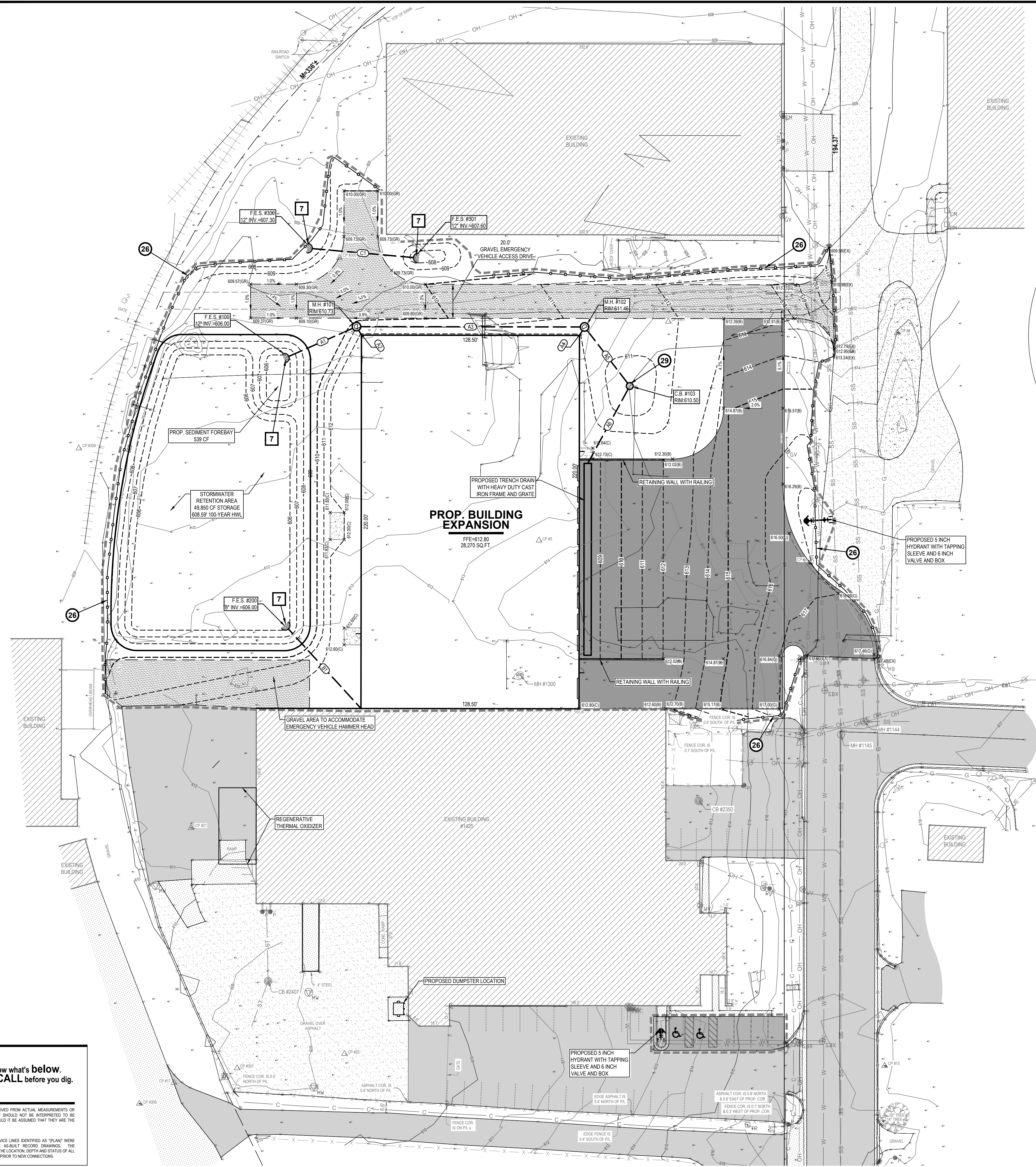
PROJECT NO:
 22401252

SHEET NO:
C-300
SHEET: 1 OF 1



PROP.	RIM	INVERTS	DIA.	TYPE
100	607.03	12" NE. INV.=606.00		F.E.S.
101	610.73	12" E. INV.=606.27 8" SE. INV.=606.94 12" SW. INV.=606.27	4'	EJ 1040 N
102	611.46	12" SE. INV.=607.11 8" SW. INV.=607.77 12" W. INV.=607.11	4'	EJ 1040 N
103	610.50	12" SW. INV.=607.38 12" NW. INV.=607.38	4'	EJ 6508
104	608.70	12" NE. INV.=607.70	4'	TRENCH DRAIN
200	606.70	8" SE. INV.=606.00		F.E.S.
300	608.33	12" E. INV.=607.30		F.E.S.
301	608.63	12" W. INV.=607.60		F.E.S.

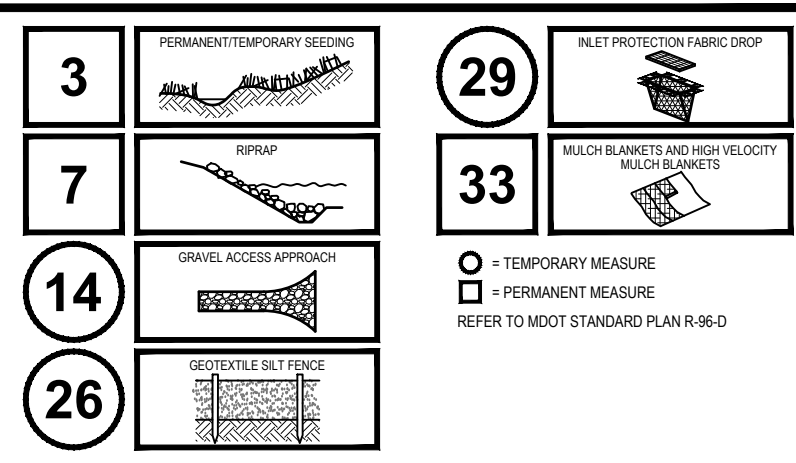
#	LENGTH	DIA.	SLOPE	MATERIAL
A1	44'	12"	0.62%	C-76-III
A2	6'	8"	1.00%	SLCPP
A3	134'	12"	0.62%	C-76-III
A4	6'	8"	1.00%	SLCPP
A5	44'	12"	0.62%	C-76-III
A6	52'	12"	0.62%	C-76-III
B1	64'	8"	1.00%	SLCPP
C1	60'	12"	0.50%	C-76-III



	2023			2024								
	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG
PLACE SILT FENCE												
STRIP & STOCKPILE TOPSOIL												
CONSTRUCT CONNECTION TO STORM SEWER												
ROUGH GRADE SITE												
CONSTRUCT BUILDING FOUNDATION AND BUILDING												
CONSTRUCT IMPROVEMENTS AROUND BUILDING												
CONSTRUCT UTILITY LINES TO BUILDING												
FINISH GRADE SITE												
PAVE SITE												
RESPIREAD TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.O.D.T. 'SOIL EROSION AND SEDIMENTATION CONTROL MANUAL' (MARCH 2021) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESS AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESS MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



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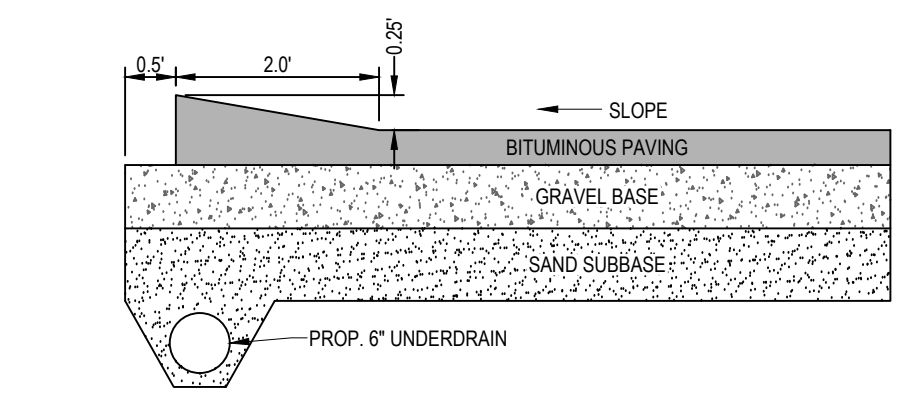
ANN ARBOR
CHICAGO
COLUMBUS
HOLLAND
INDIANAPOLIS

PREPARED FOR:
JAG Development Inc
Todd Grisman

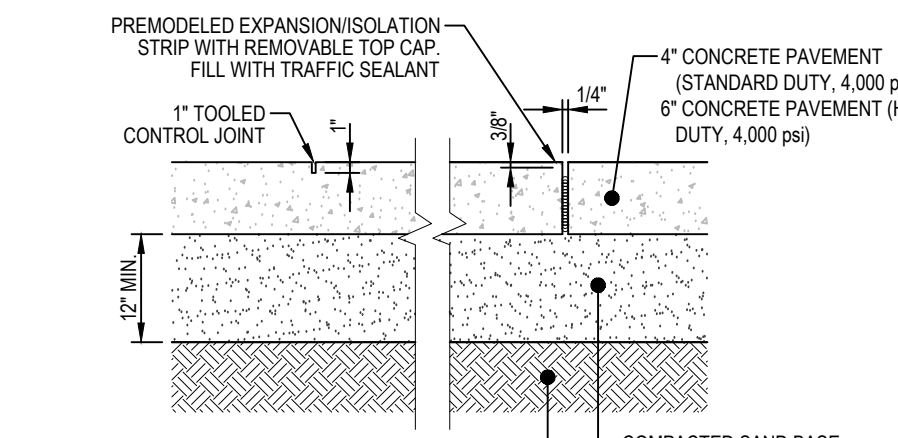
3714 28th Street SW
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REVISIONS:

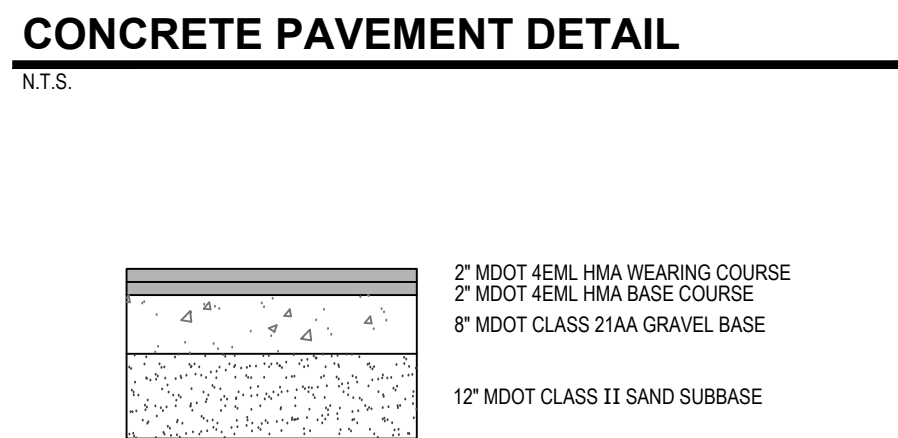
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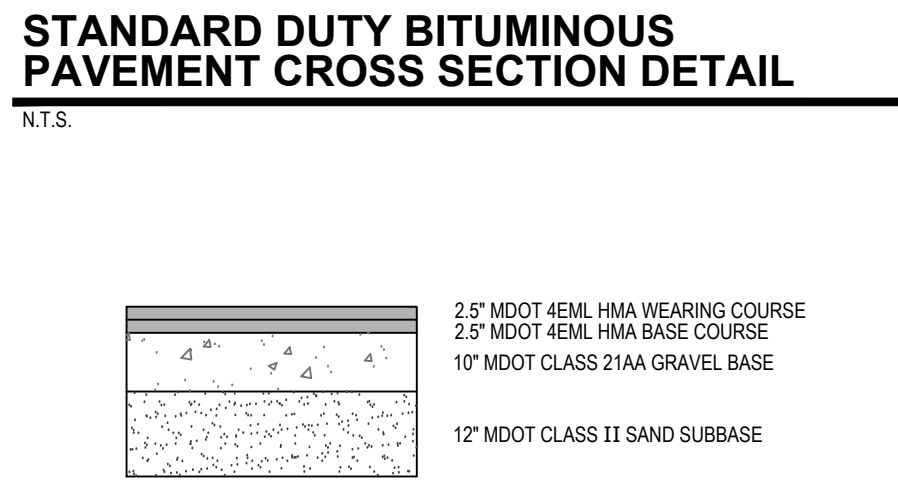
PRIVATE ROAD & SITE BITUMINOUS VALLEY GUTTER DETAIL
N.T.S.



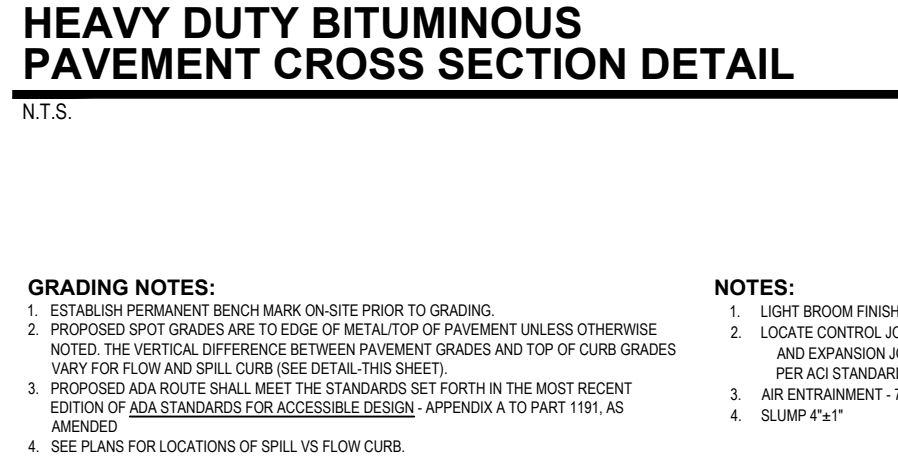
INTEGRAL CURB AND WALK DETAIL
N.T.S.



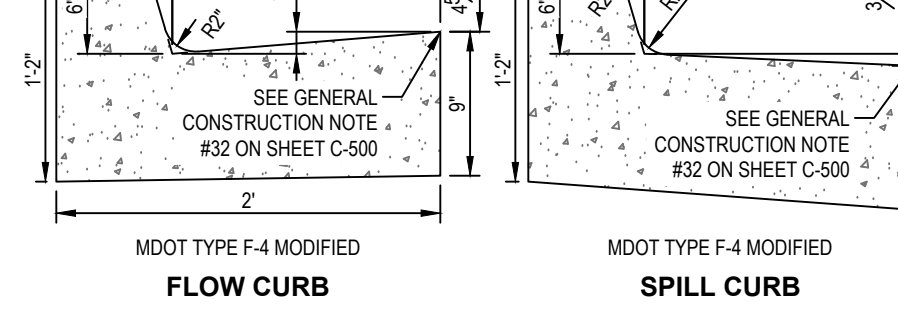
CONCRETE PAVEMENT DETAIL
N.T.S.



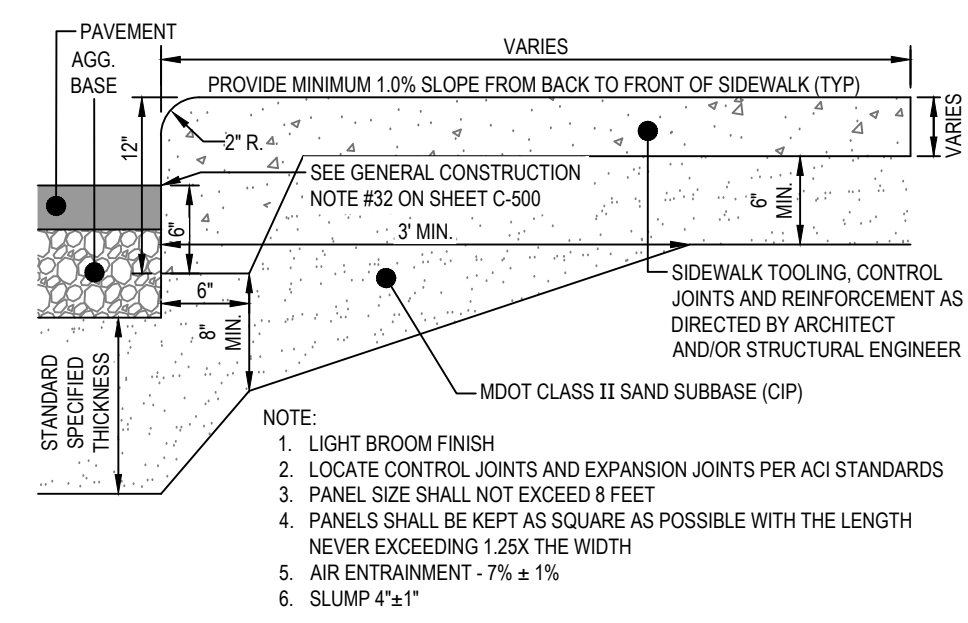
STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL
N.T.S.



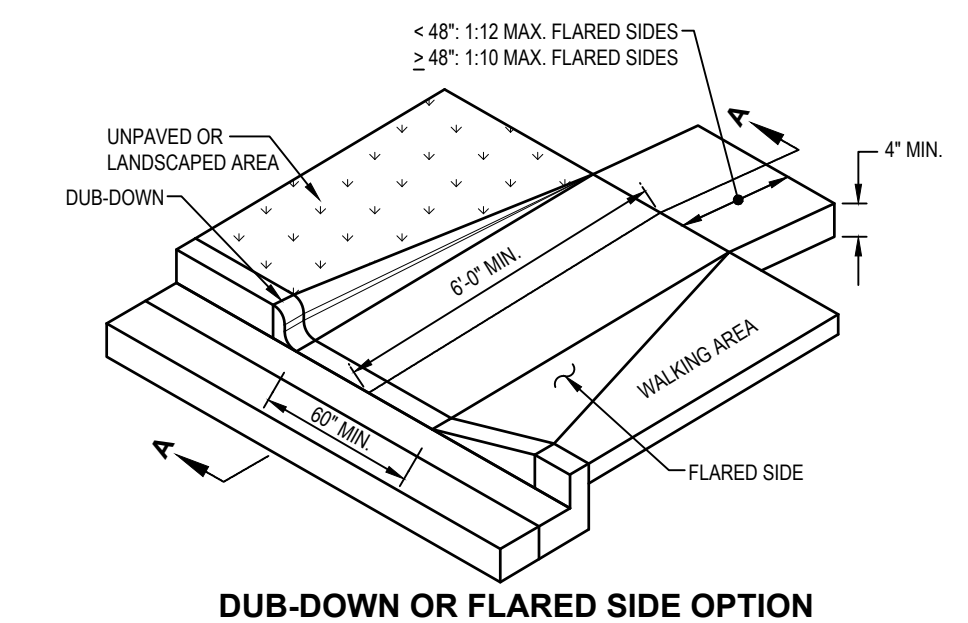
HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL
N.T.S.



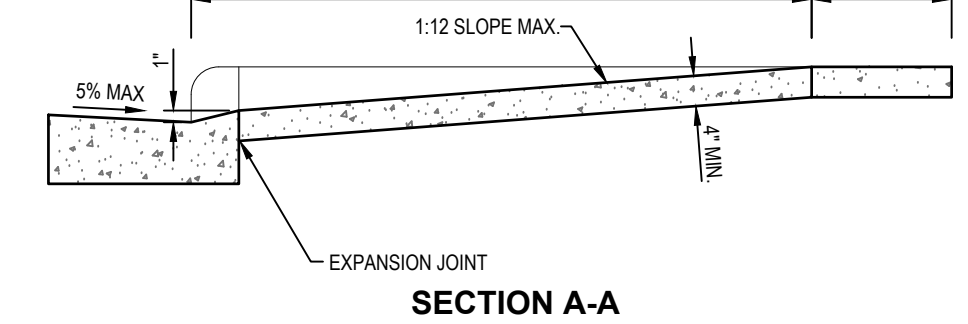
24" CONCRETE CURB AND GUTTER DETAIL
N.T.S.



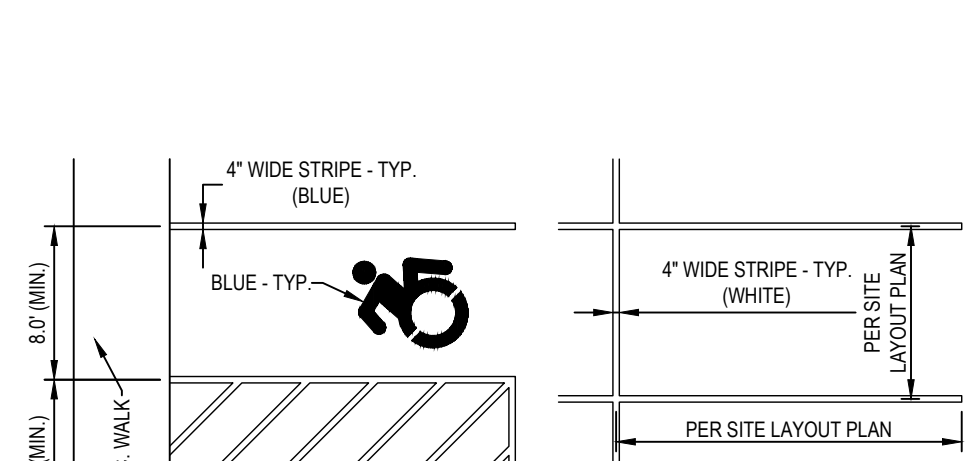
INTEGRAL CURB AND WALK DETAIL
N.T.S.



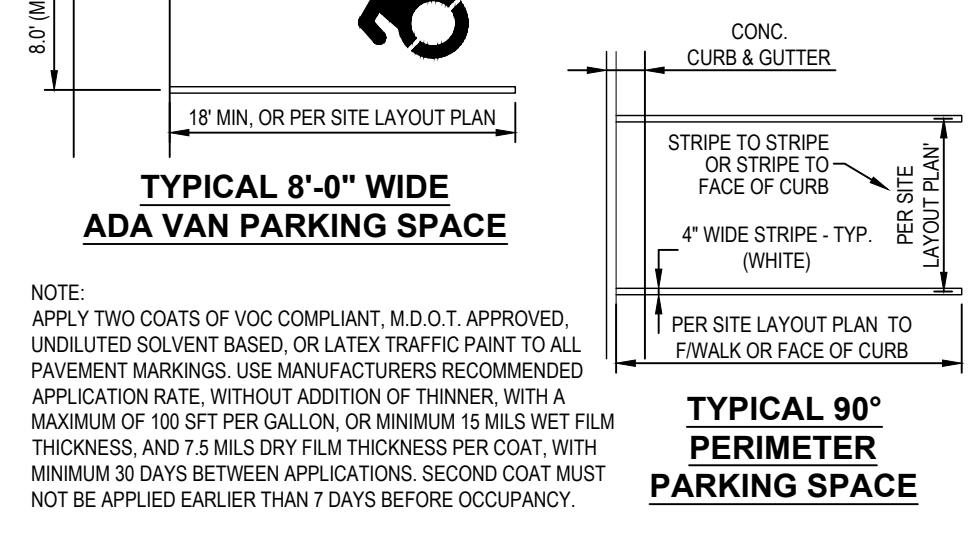
CONCRETE PAVEMENT DETAIL
N.T.S.



STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL
N.T.S.



HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL
N.T.S.



24" CONCRETE CURB AND GUTTER DETAIL
N.T.S.



TEMPORARY CRUSHED ROCK TRACKING PAD
N.T.S.



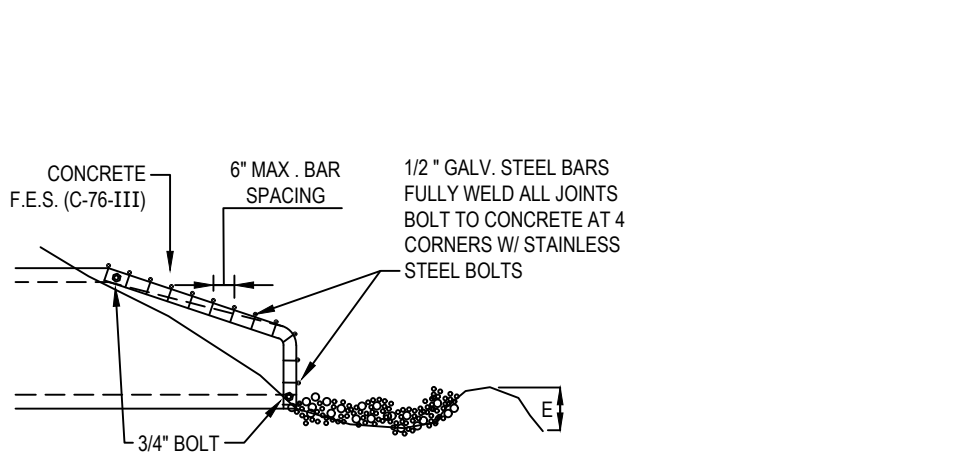
EROSION CONTROL BLANKET DETAIL
N.T.S.



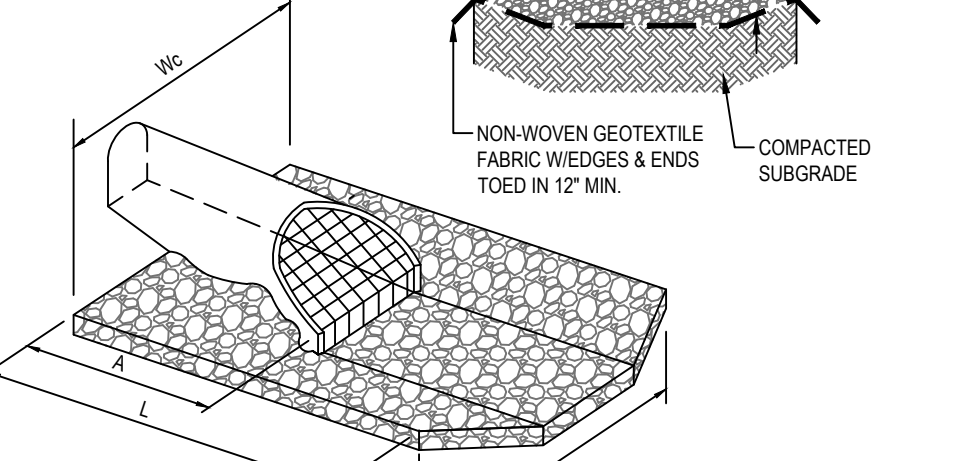
UNDER DRAIN AT CURB DETAIL
N.T.S.



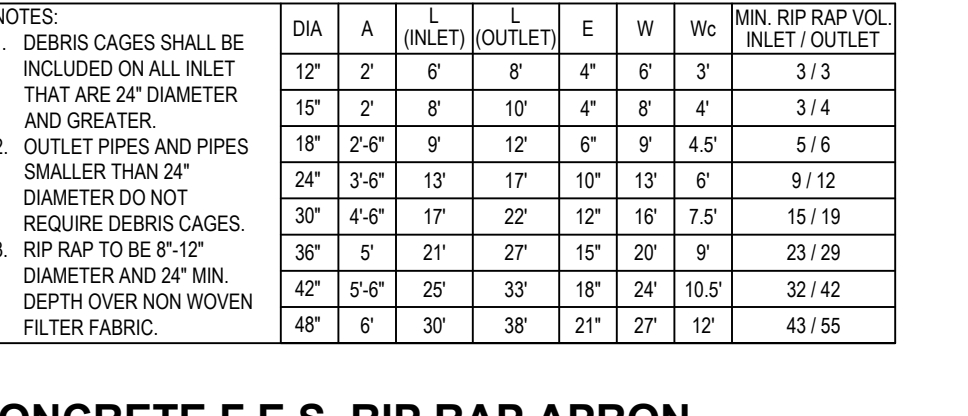
SANITARY SEWER TRENCH AND BACKFILL DETAIL
N.T.S.



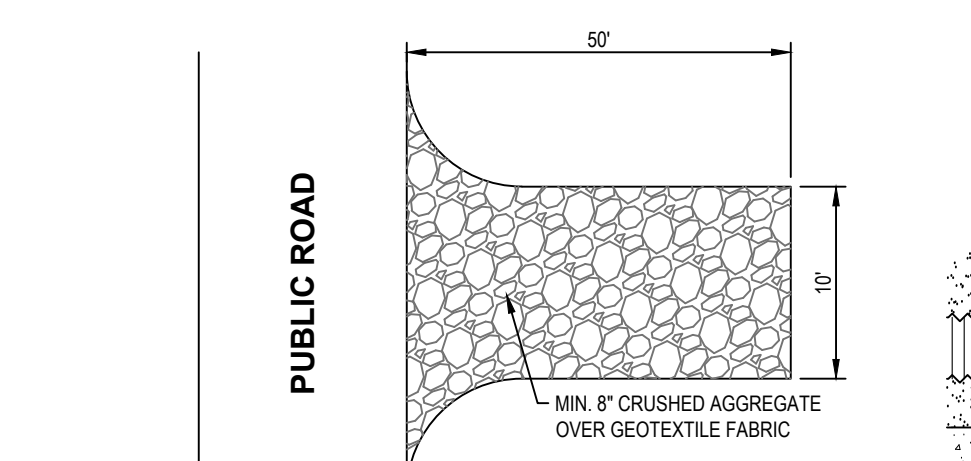
STORM SEWER TRENCH AND BACKFILL DETAIL
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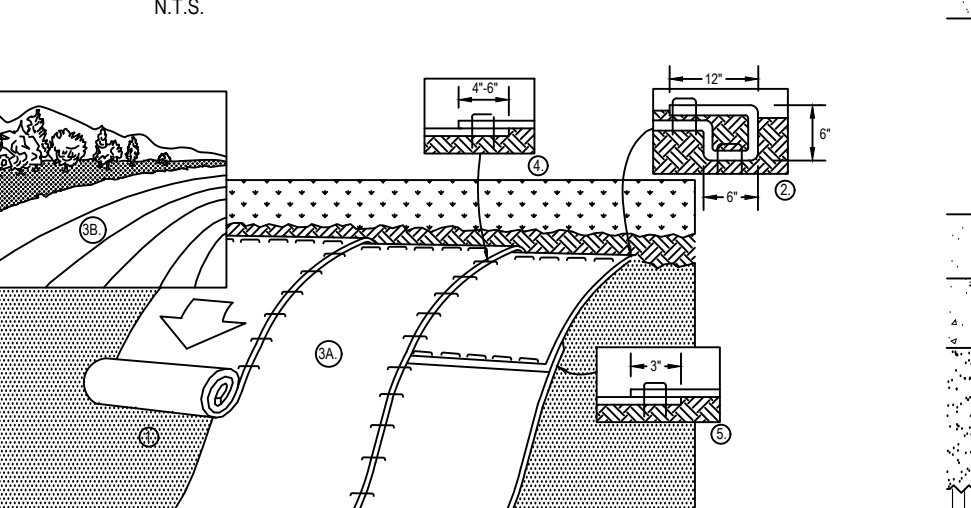
WATER MAIN TRENCH AND BACKFILL DETAIL
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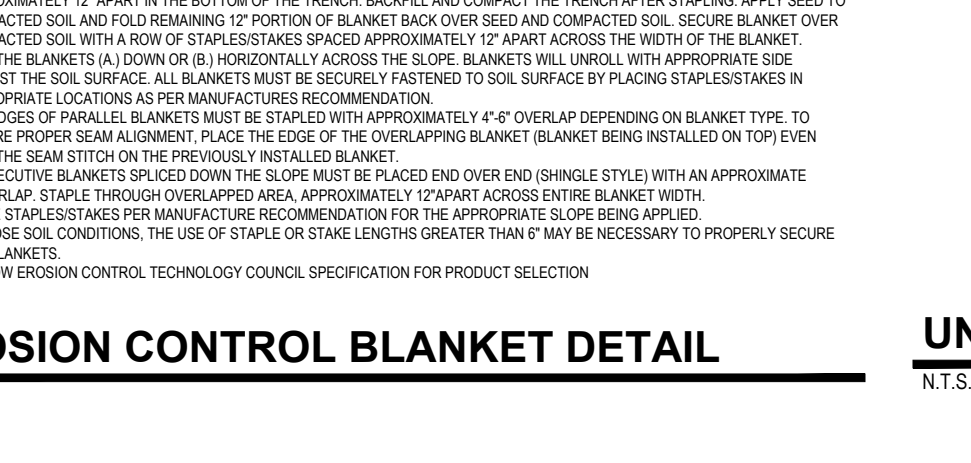
CONCRETE F.E.S. RIP RAP APRON AND DEBRIS CAGE DETAIL
N.T.S.



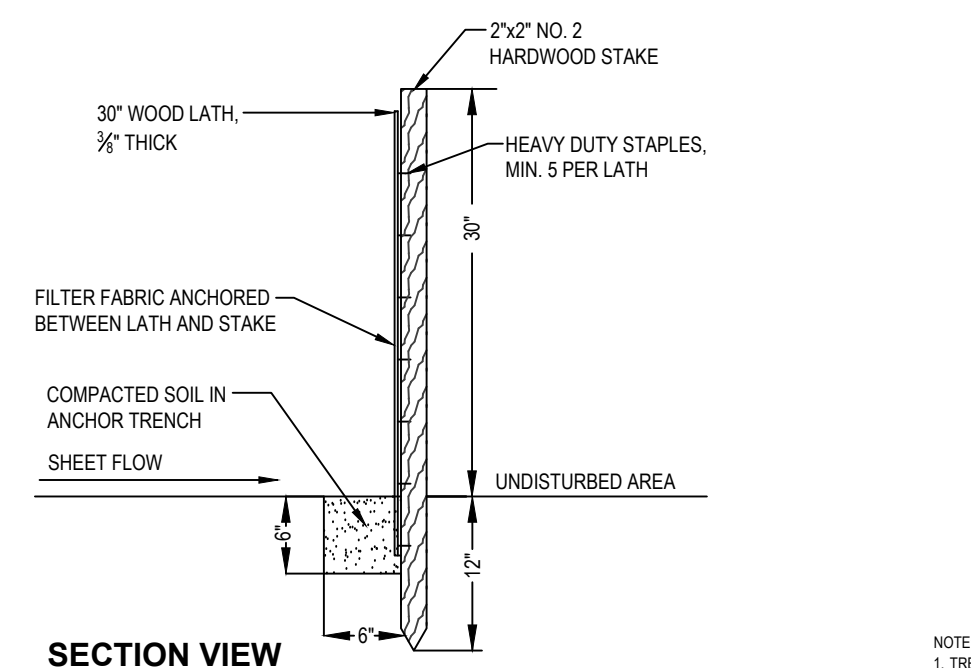
TEMPORARY CRUSHED ROCK TRACKING PAD
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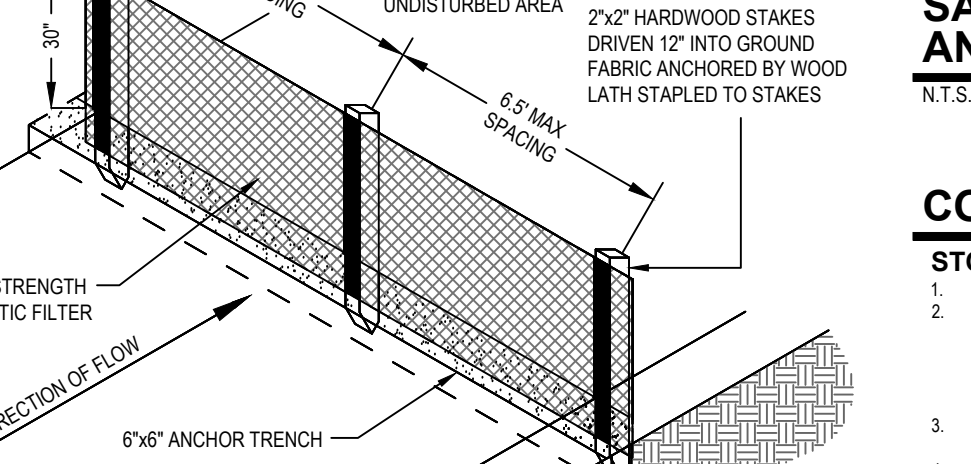
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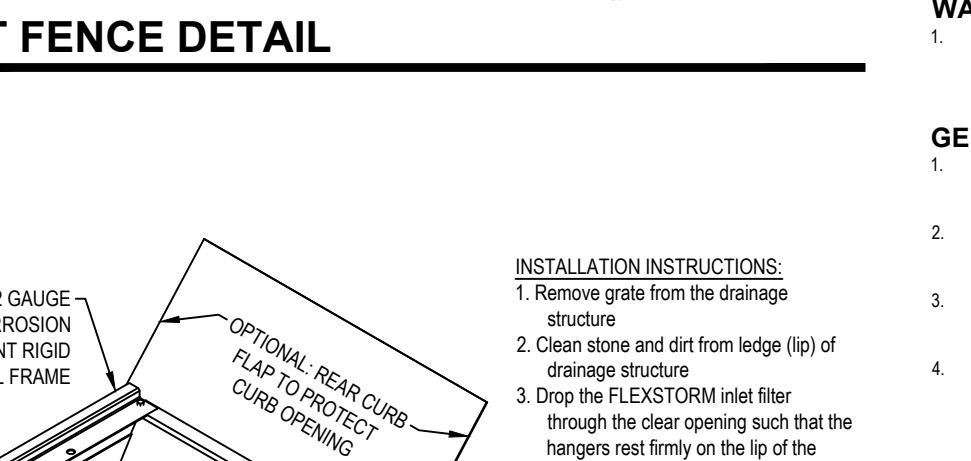
UNDER DRAIN AT CURB DETAIL
N.T.S.



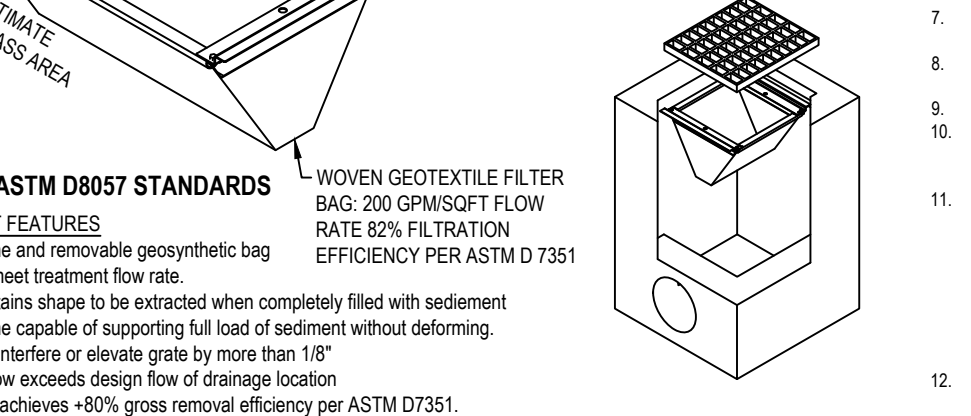
SANITARY SEWER TRENCH AND BACKFILL DETAIL
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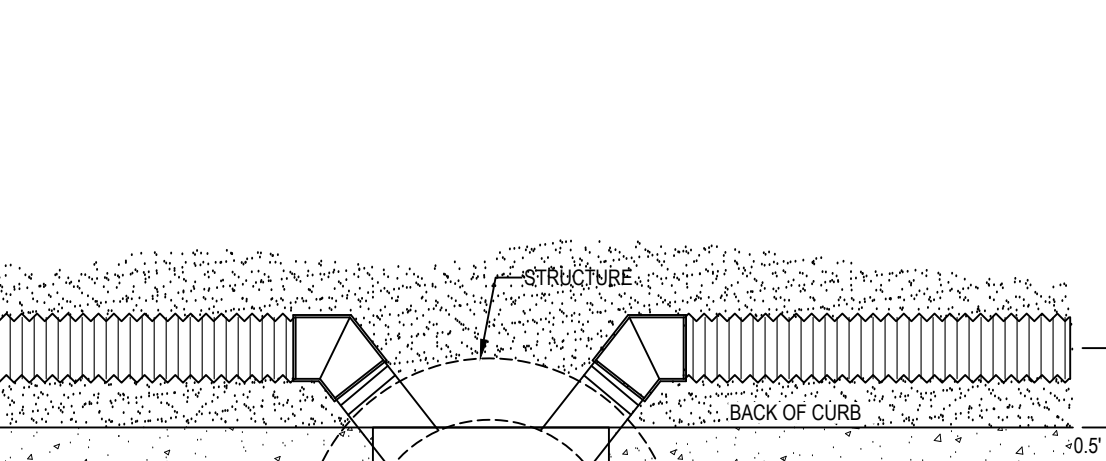
STORM SEWER TRENCH AND BACKFILL DETAIL
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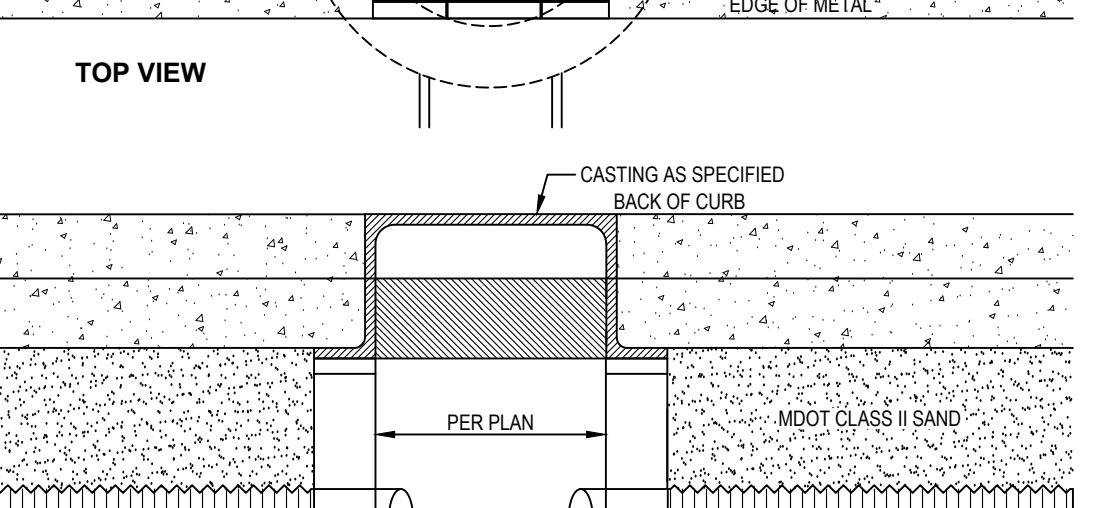
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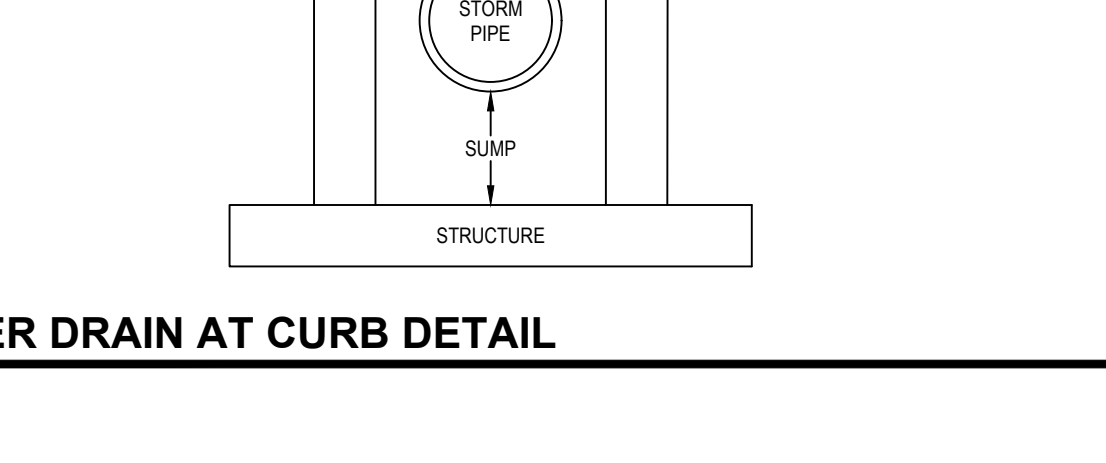
CONCRETE F.E.S. RIP RAP APRON AND DEBRIS CAGE DETAIL
N.T.S.



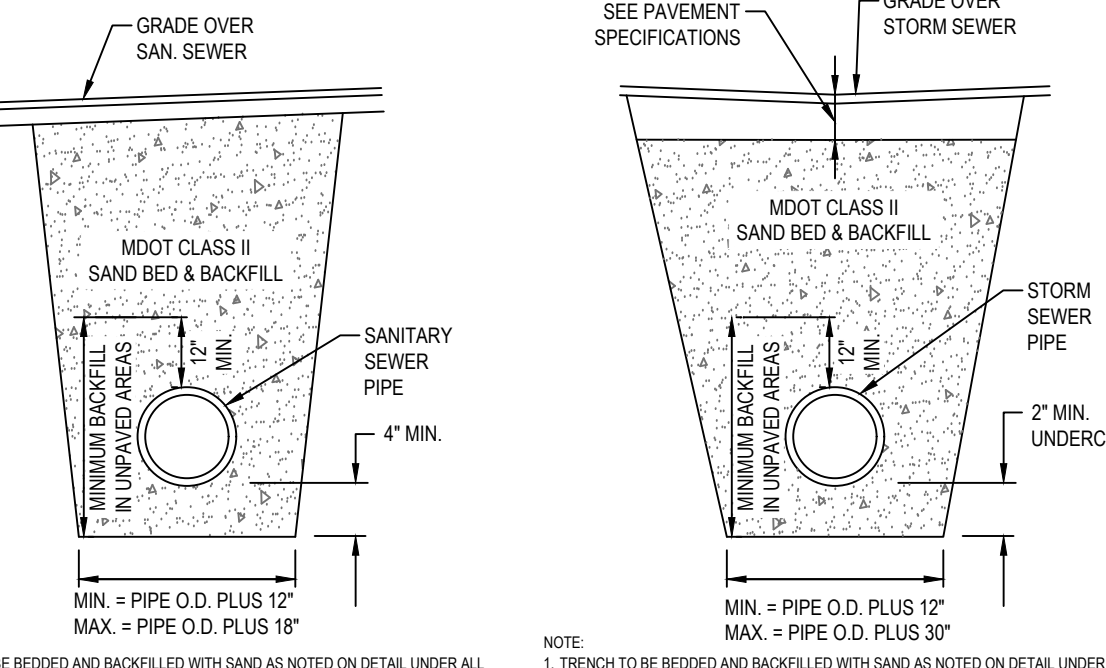
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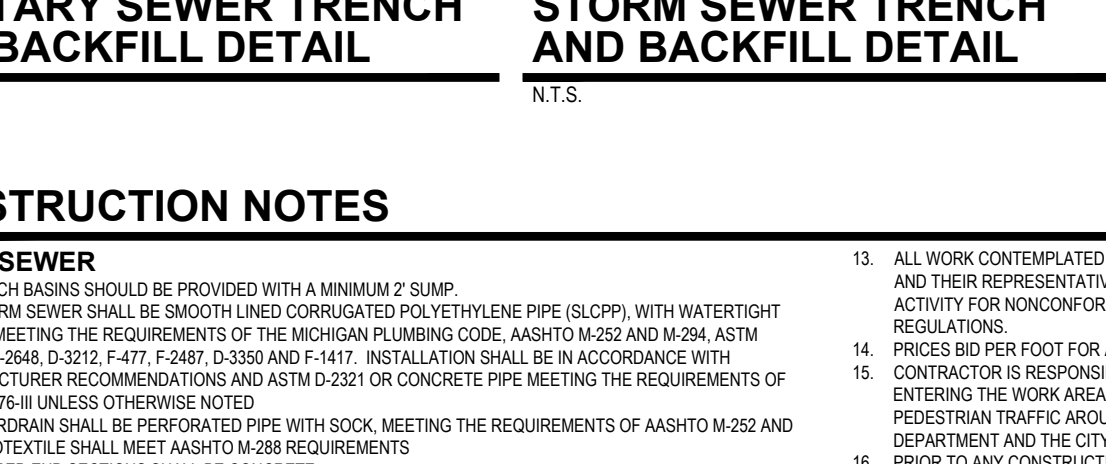
EROSION CONTROL BLANKET DETAIL
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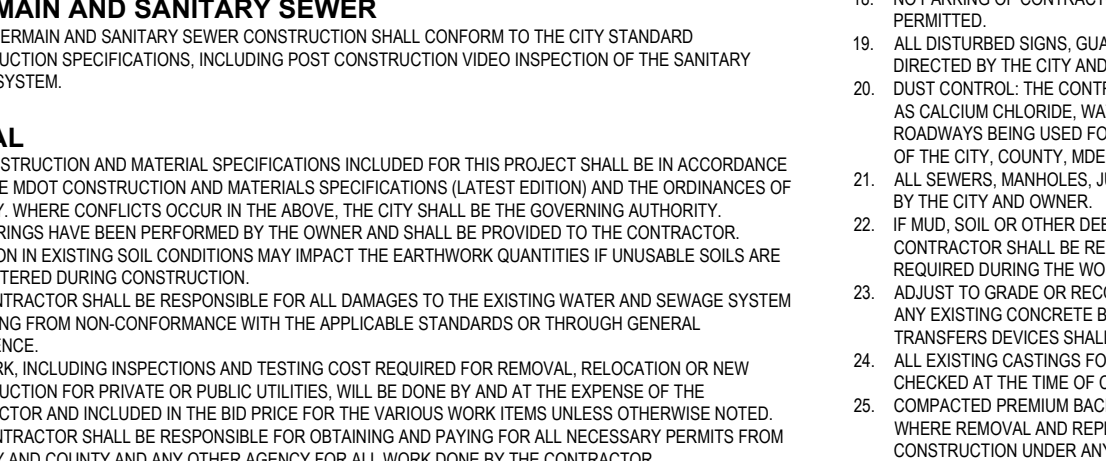
UNDER DRAIN AT CURB DETAIL
N.T.S.



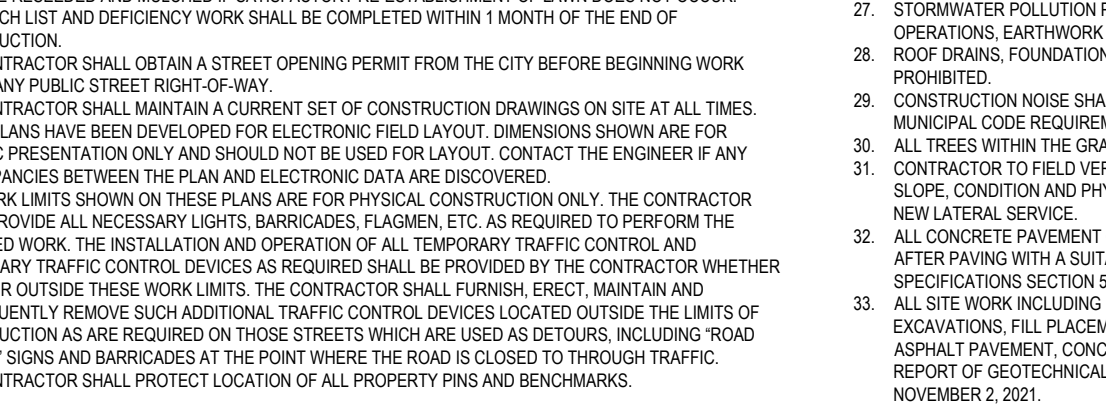
SANITARY SEWER TRENCH AND BACKFILL DETAIL
N.T.S.



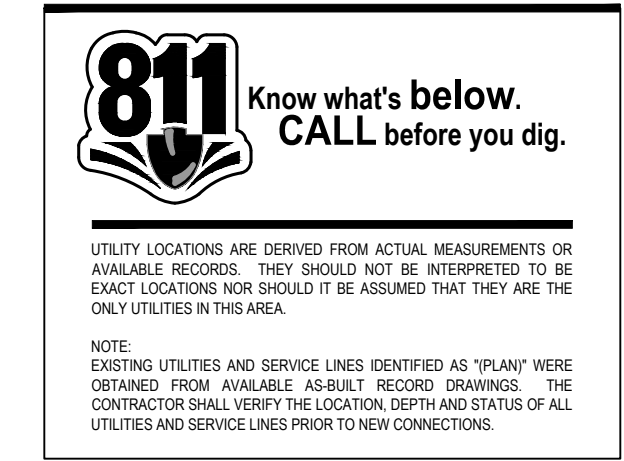
STORM SEWER TRENCH AND BACKFILL DETAIL
N.T.S.



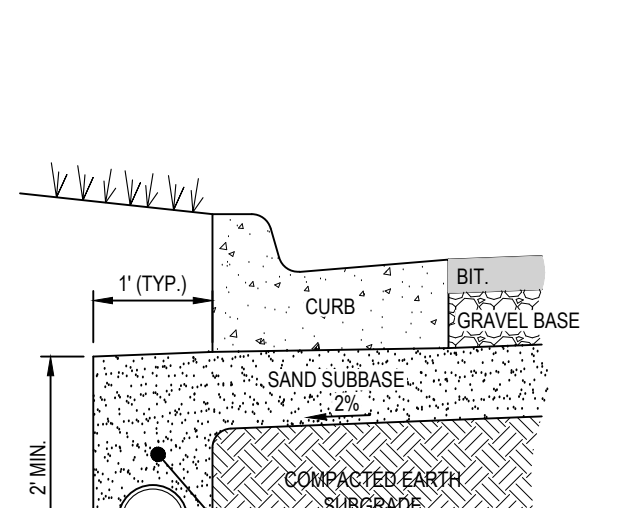
WATER MAIN TRENCH AND BACKFILL DETAIL
N.T.S.



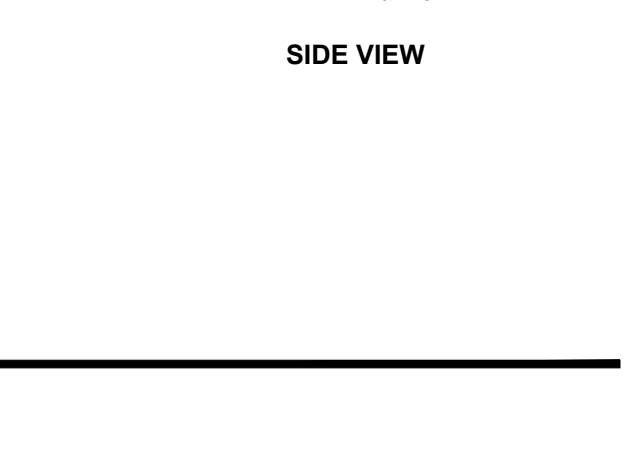
CONCRETE F.E.S. RIP RAP APRON AND DEBRIS CAGE DETAIL
N.T.S.



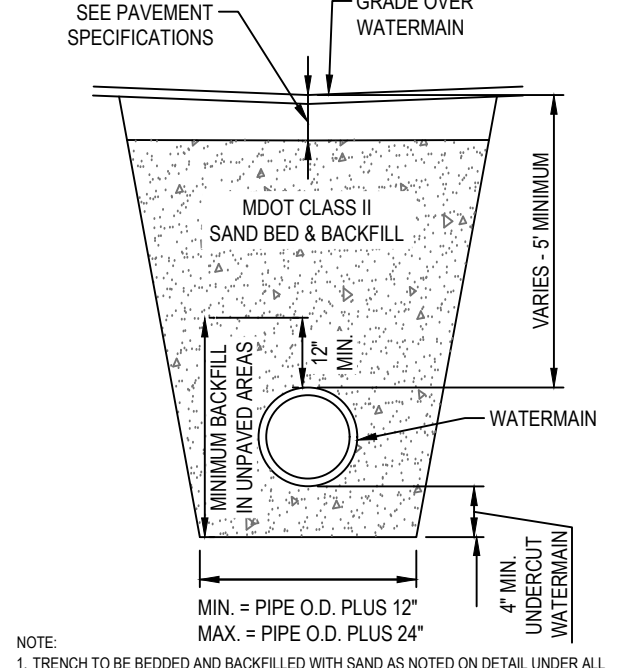
TEMPORARY CRUSHED ROCK TRACKING PAD
N.T.S.



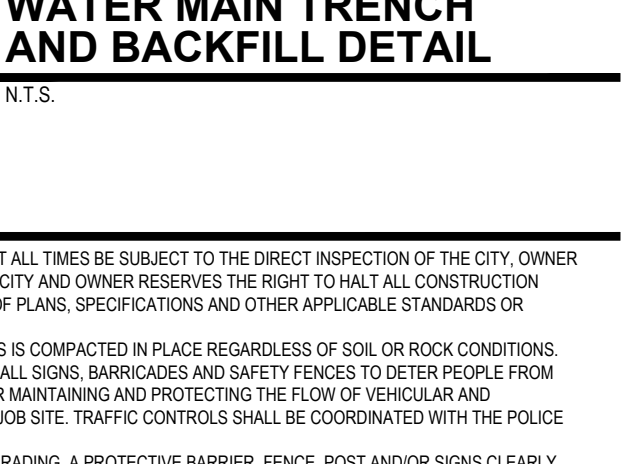
EROSION CONTROL BLANKET DETAIL
N.T.S.



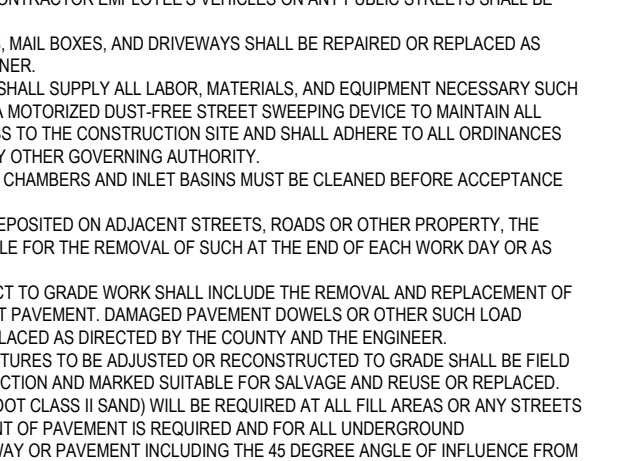
UNDER DRAIN AT CURB DETAIL
N.T.S.



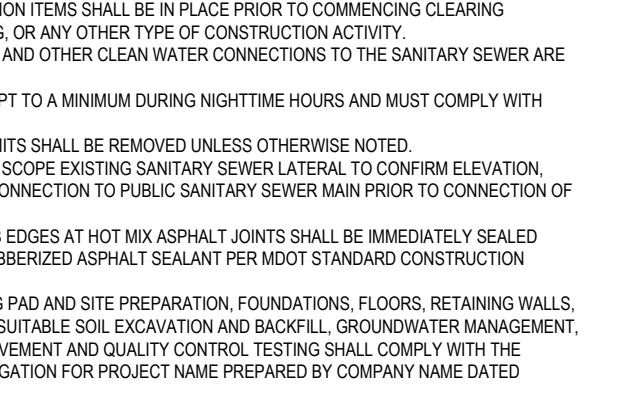
SANITARY SEWER TRENCH AND BACKFILL DETAIL
N.T.S.



STORM SEWER TRENCH AND BACKFILL DETAIL
N.T.S.



WATER MAIN TRENCH AND BACKFILL DETAIL
N.T.S.



CONCRETE F.E.S. RIP RAP APRON AND DEBRIS CAGE DETAIL
N.T.S.

PREPARED FOR:
JAG Development Inc
Todd Grisman

3714 28th Street SW
Grandville, MI 49418

REVISIONS:

Title: Proposed Grading	Checked RP	Date: 08.25.2023
Title: Proposed Site Plan	Checked RP	Date: 09.15.2023
Title: Site Plan Submittal	Checked RP	Date: 10.02.2023
Title: Existing Utility Revisions	Checked RP	Date: 10.30.2023

MICHIGAN FOAM PRODUCTS

Details & Specifications

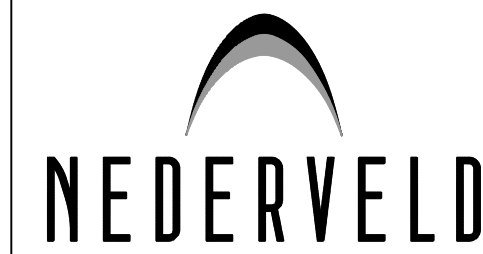
1425 Burlingame Avenue SW
PART OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R12W,
CITY OF WYOMING, KENT COUNTY, MICHIGAN

STAMP:

PROJECT NO:
22401252

SHEET NO:
C-500

SHEET: 1 OF 1



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217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190

ANN ARBOR
CHICAGO
COLUMBUS
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INDIANAPOLIS

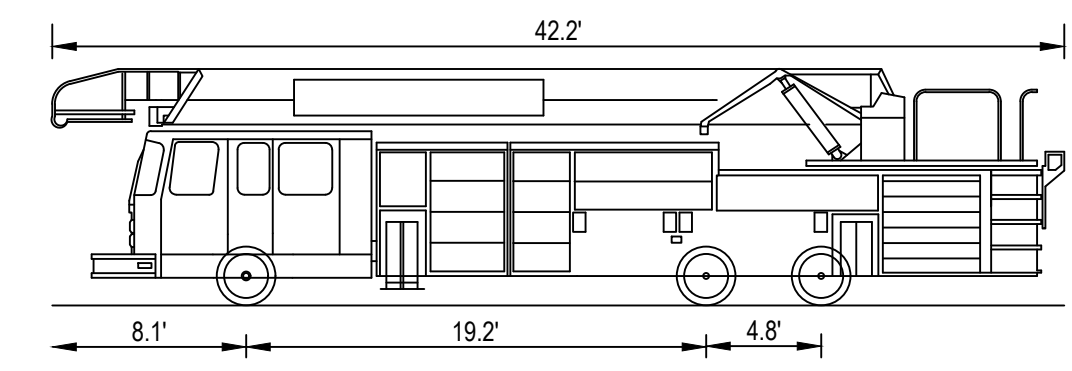
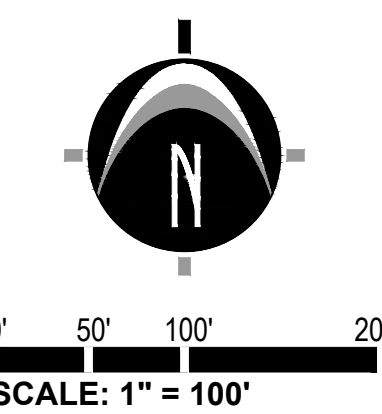
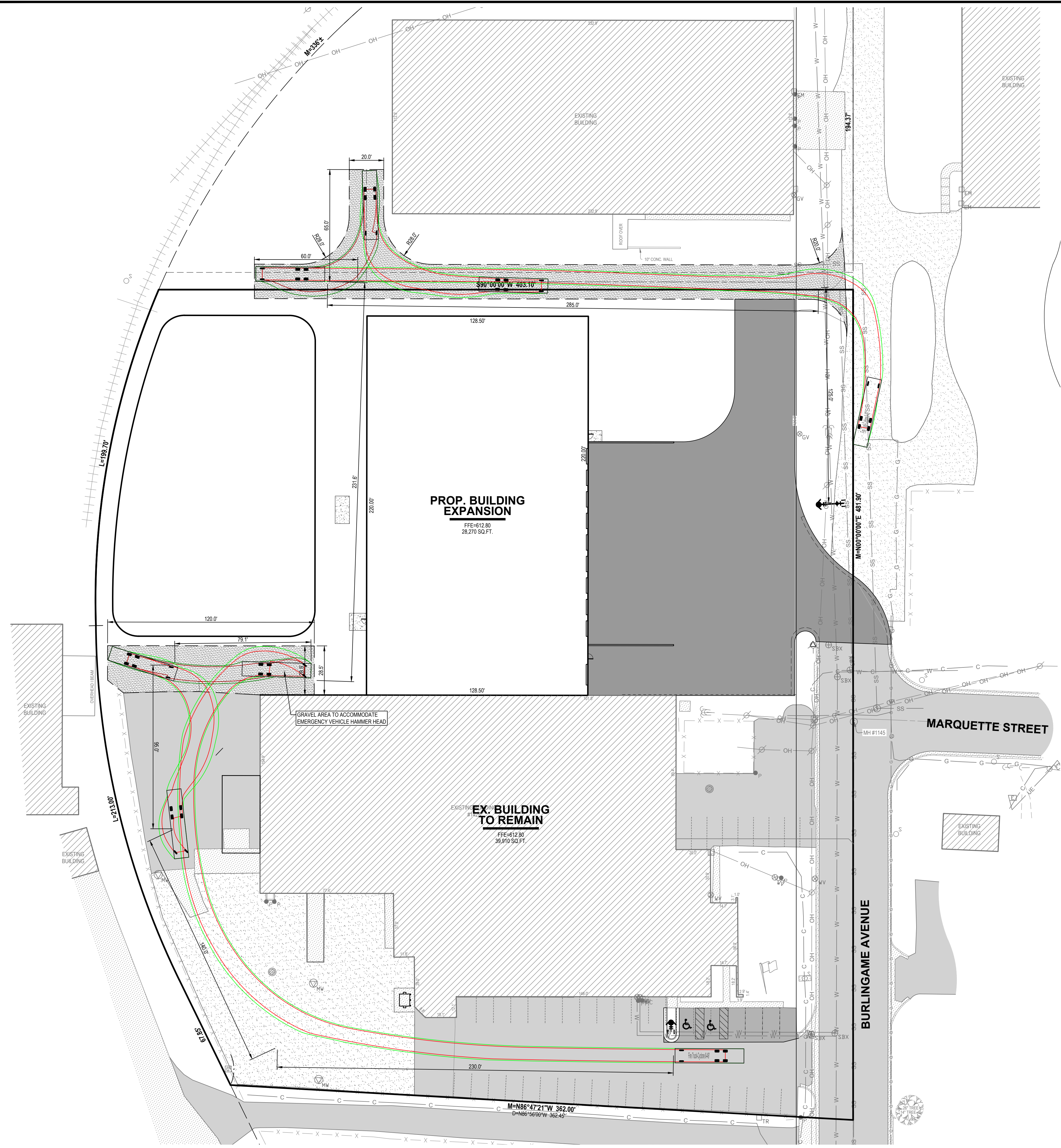
PREPARED FOR:

JAG Development Inc
Todd Grasman

3714 28th Street SW
Grandville, MI 49418

REVISIONS:

Title: Proposed Grading	Drawn: DCJW	Checked: RP	Date: 08.25.2023
Title: Proposed Site Plan	Drawn: DCJW	Checked: RP	Date: 09.15.2023
Title: Site Plan Submittal	Drawn: DCJW	Checked: RP	Date: 10.02.2023
Title: Existing Utility Revisions	Drawn: DCJW	Checked: RP	Date: 10.30.2023



Fire Truck-Cyclone Chassis	
Overall Length	42.166ft
Overall Width	8.333ft
Overall Body Height	9.851ft
Min Body Ground Clearance	0.687ft
Track Width	7.000ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	36.900ft

NOTE: ALL FIRE LANE EXHIBITS WERE DONE USING AERIAL PLATFORM TRUCK MODEL.

GREEN TRACK LINES REPRESENT FRONT TIRE PATH

RED TRACK LINES REPRESENT REAR TIRE PATH

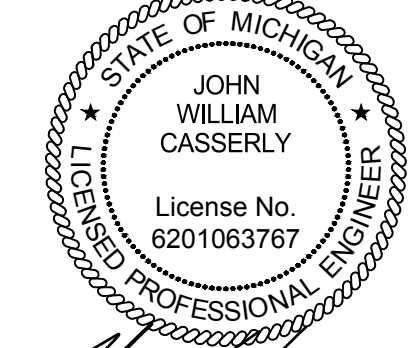
FIRE LANE EXHIBIT A
N.T.S.

MICHIGAN FOAM PRODUCTS

Fire Lane Study Plan

1425 Burlingame Avenue SW
PART OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R12W,
CITY OF WYOMING, KENT COUNTY, MICHIGAN

STAMP:



John W. Casserly

PROJECT NO:
22401252

SHEET NO:
C-FL

STORMWATER MANAGEMENT CALCULATIONS

for

**MICHIGAN FOAM PRODUCTS
1413, 1415 & 1425 BURLINGAME AVE
WYOMING, MI**

September 28, 2023

Prepared By:



217 GRANDVILLE AVE. SW, SUITE 302
GRAND RAPIDS, MI 49503
P. 616.575.5190
F. 616.575.6644

TABLE OF CONTENTS

Narrative Summary

Stormwater Calculations

- Exhibit A – Retention Basin Storage Calculation (2 x 100 year Storm Event)
- Exhibit B – Storm Sewer Design (10 year Storm Event)
- Exhibit C – LGROW Catchment Areas Map
- Exhibit D – Storm Sewer Catchment Areas Map

NARRATIVE SUMMARY

The site is located at 1413, 1415 and 1425 Burlingame Ave. The proposed project includes the construction of a 28,270 square foot building, pavement and a gravel fire lane. All stormwater generated on site will be conveyed to a retention basin on the west side of the site. Pretreatment will be provided via a sediment forebay prior to reaching the basin for the stormwater collected from the pavement runoff. The basin is designed to accommodate back-to-back 100 year storm event, because there is no positive outlet. The infiltrated volume is counted toward the provided storage volume in this design. Exhibit A shows the LGROW spreadsheet calculations, basin storage calculations and sediment forebay calculations. Exhibit C shows the areas counted in the LGROW spreadsheet calculations. The basin is designed based on City of Wyoming requirements for a dry retention basin.

**EXHIBIT A – Retention Basin Storage
Calculation (2 x 100 year Storm Event)**



LGROW Design Spreadsheet

City of Wyoming



Version 3.5

Instructions

- 1) After opening the spreadsheet you will need to enable the use of an embedded macro. Look for security warning above and click "Enable Content."
- 2) Data is entered in yellow cells. Green cells allow selection of items from pulldown menus or buttons.
- 3) To clear all input data entered in a worksheet, click the Clear Worksheet button at the top of the page (or press Ctrl+character) and hit the delete key.
- 4) Comments are indicated by red triangles in cells. Further direction is provided in the LGROW Design Spreadsheet Tutorial.
- 5) The spreadsheet can be used to model a single discharge point from the site including structural BMPs in series or parallel.

Project Description

Development Name	Michigan Foam Products	Design Firm	Nederveld
Address/Location	1415 Burlingame	Engineer	TW/JC
Developer/Owner	JAG	Date	28-Sep

Run Site Improvements

	Select if Yes	Notes
Drainage District	<input type="checkbox"/>	
Watershed Policy	<input type="checkbox"/>	
Redevelopment/Addition	<input type="checkbox"/>	
MS4	<input type="checkbox"/>	
Hotspot	<input type="checkbox"/>	
Coldwater Stream	<input type="checkbox"/>	

Sensitive Areas

Description	Notes

Channel Protection Volume Basis

Pre-development Land Use Definition	Existing	Notes
Not Required	<input type="checkbox"/>	
Provided Offsite	<input type="checkbox"/>	
Alternative Approach	<input type="checkbox"/>	

Subcatchment Connectivity

Number of Subcatchments: 4

Subcatchment Name	Downstream Subcatchment	Subcatchment Description
Sub1	Sub4	North Side of Building & East Side of Site
Sub2	Sub4	South Side of Building
Sub3	Sub4	Sheet Flow To Basins
Sub4	none	Retention Basins



Subcatchment Hydrology Summary

Subcatchment Name	Existing			Developed		
	Area [ac]	% Impervious	Average CN	Area [ac]	% Impervious	Average CN
Sub1	1.20	41%	64	1.20	81%	88
Sub2	0.21	38%	61	0.21	100%	98
Sub3	0.54	30%	58	0.54	1%	61
Sub4	0.46	6%	42	0.46	0%	100
Site Totals and Averages:	2.41	31%	59	2.41	49%	85

Channel Protection Volume from Structural BMPs

Subcatchment Name	Channel Protection Volume [cft]			
	Required	Upstream	Credited	Unmet
Sub1	4,110	0	0	4,110
Sub2	1,084	0	0	1,084
Sub3	0	0	0	0
Sub4	0	5,194	5,194	0
Total	5,194		5,194	

Percent of Channel Protection Volume met by Onsite Retention	100
Required Extended Detention Volume [cft]	0
Required Extended Detention Release Rate [cfs]	0.000
1-year Existing Peak Discharge [cfs]	0.21

Water Quality Volume and TSS Removal

Subcatchment Name	Water Quality Volume [cft]	Volume Met	TSS			
			Generated	Upstream	Total	Removed
Sub1	3,582	Yes	3,582	0	3,582	1,791
Sub2	723	No	723	0	723	0
Sub3	878	No	878	0	878	0
Sub4	0	Yes	0	3,393	3,393	3,019
Total	5,184	Yes	5,184			4,811

TSS Removal Efficiency [%]	93
80% TSS removal met?	Yes

Sub1: North Side of Building & East Side of Site

Runoff

[Click here for documentation](#)

Existing Land Use	HSG	Area	Units	Curve Number	
				Existing	Pre-settlement
Impervious (paved parking lot, roof, driveway, etc.)	A	21,329	sqft	98	49
Open spaces (grass cover) - good	A	29,545	sqft	39	30
Gravel	A	1,417	sqft	88	30
		1.20	acre	64	38

Developed Land Use	HSG	Area	Units	Curve Number	Notes
DIST: Gravel	A	1,166	sqft	88	
DIST: Impervious (paved parking lot, roof, driveway, etc.)	A	42,576	sqft	98	
DIST: Open spaces (grass cover) - good	A	8,435	sqft	39	
EXIST: Gravel	A	115	sqft	88	
		1.20	acre	88	

Subcatchment Runoff Volume for Developed Land Use

Rainfall Frequency	Volume from this Subcatchment [cft]				
	1-year	2-year	10-year	25-year	100-year
Volume from this Subcatchment [cft]	7,192	8,421	12,831	16,149	22,291

Channel Protection Volume

[Click here for documentation](#)

Required Channel Protection Volume

Is Channel Protection Volume required? If no, provide reason.

2-year Runoff Volumes [cft]

	Yes	Developed	Pre-developed
Required this Subcatchment [cft]	4,110	8,421	4,311
Unmet from Upstream Subcatchments [cft]	0		
Required Channel Protection Volume [cft]	4,110		

Structural BMPs used to meet Channel Protection Volume

Structural BMP	A Infiltration Area [sqft]	V Storage Volume [cft]	i Design Infiltration Rate [in/hr]	Drain Time [hr]	Volume Retained [cft]
				N.A.	
				N.A.	
				N.A.	
				N.A.	
Totals		0			0

Credited Channel Protection Volume

0

Notes:

Percentage of Channel Protection Volume Met by Retention

0%

Water Quality Volume

[Click here for documentation](#)

	Paved [ac]	Pitched Roofs [ac]	Flat Roofs/Unpaved [ac]
Sum of Directly Connected Impervious Area [ac]	1.01	0.56	0.44
Sum of Directly Connected Disturbed Pervious Area [ac]	0.19		
Required Volume this Subcatchment [cft]	3,582	TSS Generated this Subcatchment 3,582	
Volume from Upstream Subcatchments [cft]	0	TSS from Upstream Subcatchments 0	
Water Quality Volume to be Treated [cft]	3,582	TSS to be Treated 3,582	

TSS Accounting

BMPs Used in Treatment Train	Treated Water Volume [cft]	TSS Removal Efficiency			TSS Removed
		Tabulated	Third-Party	Effective	
PASS: Sediment Forebay	3,582	50		50	1,791
					0
					0
					0
					0
Released Water Volume [cft]	3,582	Total TSS Removed			1,791
Water Quality Volume met?	Yes	TSS Remaining			1,791
		TSS Removal Efficiency [%]			50

Notes:

Sub2: South Side of Building

Runoff

[Click here for documentation](#)

Existing Land Use	HSG	Area	Units	Curve Number	
				Existing	Pre-settlement
Impervious (paved parking lot, roof, driveway, etc.)	A	3,412	sqft	98	49
Open spaces (grass cover) - good	A	5,583	sqft	39	30
		0.21	acre	61	37

Developed Land Use	HSG	Area	Units	Curve Number	Notes
DIST: Impervious (paved parking lot, roof, driveway, etc.)	A	8,995	sqft	98	
Notes:		0.21	acre	98	

Subcatchment Runoff Volume for Developed Land Use

Rainfall Frequency	Volume from this Subcatchment [cft]				
	1-year	2-year	10-year	25-year	100-year
	1,494	1,747	2,650	3,316	4,521

Channel Protection Volume

[Click here for documentation](#)

Required Channel Protection Volume

Is Channel Protection Volume required? If no, provide reason.

2-year Runoff Volumes [cft]

	Yes	Developed	Pre-developed
Required this Subcatchment [cft]	1,084	1,747	663
Unmet from Upstream Subcatchments [cft]	0		
Required Channel Protection Volume [cft]	1,084		

Structural BMPs used to meet Channel Protection Volume

Structural BMP	A Infiltration Area [sqft]	V Storage Volume [cft]	i Design Infiltration Rate [in/hr]	Drain Time [hr]	Volume Retained [cft]
				N.A.	
				N.A.	
				N.A.	
				N.A.	
Totals		0			0

Credited Channel Protection Volume

0

Notes:

Percentage of Channel Protection Volume Met by Retention

0%

Water Quality Volume

[Click here for documentation](#)

	Paved [ac]	Pitched Roofs [ac]	Flat Roofs/Unpaved [ac]
Sum of Directly Connected Impervious Area [ac]	0.21	0.00	0.21
Sum of Directly Connected Disturbed Pervious Area [ac]	0.00		
Required Volume this Subcatchment [cft]	723		
Volume from Upstream Subcatchments [cft]	0		
Water Quality Volume to be Treated [cft]	723		
		TSS Generated this Subcatchment	723
		TSS from Upstream Subcatchments	0
		TSS to be Treated	723

TSS Accounting

BMPs Used in Treatment Train	Treated Water Volume [cft]	TSS Removal Efficiency			TSS Removed
		Tabulated	Third-Party	Effective	
					0
					0
					0
					0
					0
Released Water Volume [cft]	723				Total TSS Removed
Water Quality Volume met?	No				0
					TSS Remaining
					723
					TSS Removal Efficiency [%]
					0

Notes:

Sub3: Sheet Flow To Basins

Runoff

[Click here for documentation](#)

Existing Land Use	HSG	Area	Units	Curve Number	
				Existing	Pre-settlement
Impervious (paved parking lot, roof, driveway, etc.)	A	7,022	sqft	98	49
Open spaces (grass cover) - good	A	15,821	sqft	39	30
Gravel	A	651	sqft	88	30
		0.54	acre	58	36

Developed Land Use	HSG	Area	Units	Curve Number	Notes
DIST: Gravel	A	10,049	sqft	88	
DIST: Impervious (paved parking lot, roof, driveway, etc.)	A	233	sqft	98	
DIST: Open spaces (grass cover) - good	A	13,210	sqft	39	

Notes:		0.54	acre	61	
---------------	--	------	------	----	--

Subcatchment Runoff Volume for Developed Land Use

Volume from this Subcatchment [cft]	Rainfall Frequency	1-year	2-year	10-year	25-year	100-year
		998	1,245	2,204	3,039	4,788

Channel Protection Volume

[Click here for documentation](#)

Required Channel Protection Volume

Is Channel Protection Volume required? If no, provide reason.

2-year Runoff Volumes [cft]

Required this Subcatchment [cft]	Yes	Developed	Pre-developed
Unmet from Upstream Subcatchments [cft]	0	1,245	1,441
Required Channel Protection Volume [cft]	0		

Structural BMPs used to meet Channel Protection Volume

Structural BMP	A Infiltration Area [sqft]	V Storage Volume [cft]	i Design Infiltration Rate [in/hr]	Drain Time [hr]	Volume Retained [cft]
				N.A.	
				N.A.	
				N.A.	
				N.A.	
Totals		0			0

Credited Channel Protection Volume

0

Notes:

Percentage of Channel Protection Volume Met by Retention

100%

Water Quality Volume

[Click here for documentation](#)

Sum of Directly Connected Impervious Area [ac]	0.24	Paved [ac]	0.24	Pitched Roofs [ac]		Flat Roofs/Unpaved [ac]	
Sum of Directly Connected Disturbed Pervious Area [ac]	0.30						
Required Volume this Subcatchment [cft]	878			TSS Generated this Subcatchment	878		
Volume from Upstream Subcatchments [cft]	0			TSS from Upstream Subcatchments	0		
Water Quality Volume to be Treated [cft]	878			TSS to be Treated	878		

TSS Accounting

BMPs Used in Treatment Train	Treated Water Volume [cft]	TSS Removal Efficiency			TSS Removed
		Tabulated	Third-Party	Effective	
					0
					0
					0
					0
					0
Released Water Volume [cft]	878			Total TSS Removed	0
Water Quality Volume met?	No			TSS Remaining	878
				TSS Removal Efficiency [%]	0

Notes:

Sub4: Retention Basins

Runoff

[Click here for documentation](#)

Existing Land Use	HSG	Area	Units	Curve Number	
				Existing	Pre-settlement
Impervious (paved parking lot, roof, driveway, etc.)	A	1,171	sqft	98	49
Open spaces (grass cover) - good	A	18,838	sqft	39	30
		0.46	acre	42	31

Developed Land Use	HSG	Area	Units	Curve Number	Notes
S-BMP: Water	A	20,009	sqft	100	

Notes:

Subcatchment Runoff Volume for Developed Land Use

Rainfall Frequency	Volume from this Subcatchment [cft]				
	1-year	2-year	10-year	25-year	100-year
Volume from this Subcatchment [cft]	3,702	4,269	6,286	7,770	10,455

Channel Protection Volume

[Click here for documentation](#)

Required Channel Protection Volume

Is Channel Protection Volume required? If no, provide reason.

2-year Runoff Volumes [cft]

	No	Developed	Pre-developed
Required this Subcatchment [cft]	0	4,269	227
Unmet from Upstream Subcatchments [cft]	5,194		
Required Channel Protection Volume [cft]	5,194		

Structural BMPs used to meet Channel Protection Volume

Structural BMP	A Infiltration Area [sqft]	V Storage Volume [cft]	i Design Infiltration Rate [in/hr]	Drain Time [hr]	Volume Retained [cft]
Retention Basin	13,168	49,850	3.60	12.62	89,666
				N.A.	
				N.A.	
				N.A.	
Totals		49,850			89,666

Credited Channel Protection Volume

5,194

Notes:

Percentage of Channel Protection Volume Met by Retention

100%

Water Quality Volume

[Click here for documentation](#)

	Paved [ac]	Pitched Roofs [ac]	Flat Roofs/Unpaved [ac]
Sum of Directly Connected Impervious Area [ac]	0.00	0.00	
Sum of Directly Connected Disturbed Pervious Area [ac]	0.00		
Required Volume this Subcatchment [cft]	0		
Volume from Upstream Subcatchments [cft]	5,184		
Water Quality Volume to be Treated [cft]	5,184		
		TSS Generated this Subcatchment	0
		TSS from Upstream Subcatchments	3,393
		TSS to be Treated	3,393

TSS Accounting

BMPs Used in Treatment Train	Treated Water Volume [cft]	TSS Removal Efficiency			TSS Removed
		Tabulated	Third-Party	Effective	
RET: Retention Basin	5,184	89		89	3,019
					0
					0
					0
					0
Released Water Volume [cft]	0				Total TSS Removed
Water Quality Volume met?	Yes				3,019
					TSS Remaining
					373
					TSS Removal Efficiency [%]
					89

Notes:



Time-of-Concentration

[Click here for documentation](#)

	Worksheet	User	Value Used
Existing [hr]	0.00	0.17	0.17
Developed [hr]	0.00	0.17	0.17

Method Selected
User

Notes:

Flood Control Volume

[Click here for documentation](#)

Detention - Routing Method

Design Storm	100-year
Total Contributing Area [ac]	2.41
Developed Peak Discharge [cfs]	13.33
Allowable Discharge Worksheet	Select
Standard Discharge [cfs] - 0.13 [cfs/ac]	0.31
Alternate Discharge [cfs]	<input type="radio"/>

Retention - Summary of Volumes

Design Storm	100-year
Site Runoff Volume [cft]	42,054
BMP Storage Volume [cft]	49,850
BMP Infiltrating Volume [cft]	39,816
Total Volume Provided [cft]	89,666
Runoff Volume Retained by BMPs [cft]	42,054
Unretained Runoff Volume [cft]	0

Credited BMP Retention Volume: Storage Volume 2yr ← The City of Wyoming requires that this be set to "Storage Volume 2yr"

Detention Required?	Yes
Allowable Discharge [cfs]	0.31
Required Storage Volume [cft]	0
Time to Drain [hrs]	

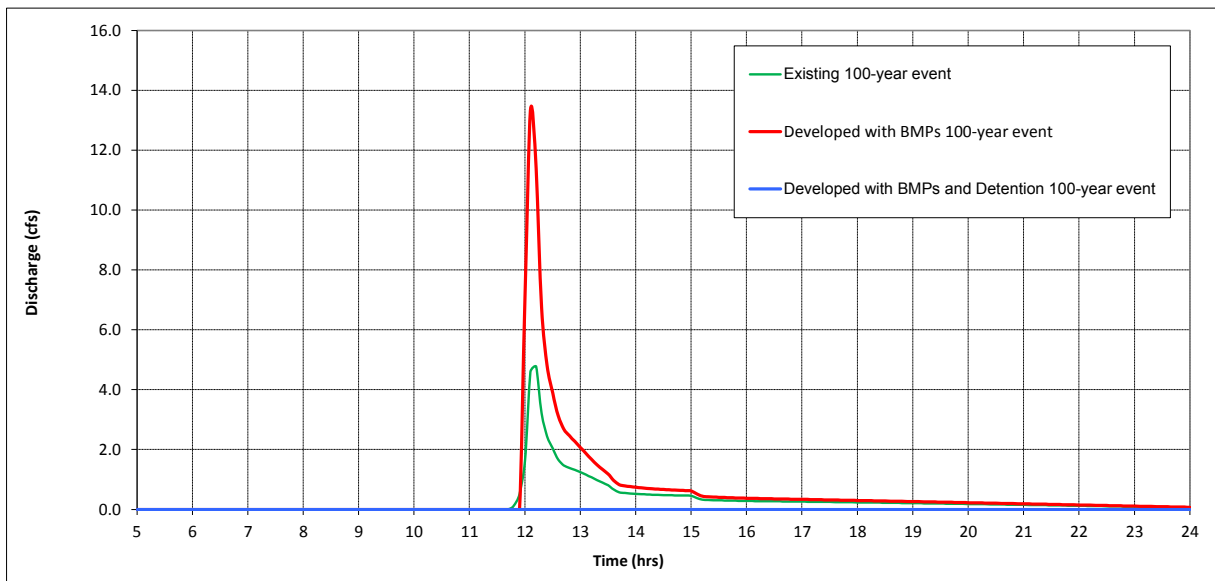
Required Storage Volume [cft] **84,109**
100% of "Site Runoff Volume"

Calculate Detention Storage Volume [Press button or Ctrl+E to calculate](#)

No Emergency Overflow Routes Provide twice the Required Storage Volume

Notes:

Hydrograph



Plot Event: 100-year

Results Summary

Volume Units cft

Rainfall

Source and Distribution	24-hour, NOAA Atlas 14 at Grand Rapids Intl AP, NRCS MSE4				
Rainfall Frequency	1-year	2-year	10-year	25-year	100-year
Rainfall Depth [in]	2.22	2.56	3.77	4.66	6.27

Pre-settlement Land Use

Time-of-Concentration [hr]	0.17				
Average Runoff [in]	0.00	0.01	0.07	0.16	0.45
Peak Discharge [cfs]	0.00	0.00	0.02	0.05	0.32
Runoff Volume [cft]	5	58	647	1,405	3,916

Existing Land Use

Time-of-Concentration [hr]	0.17				
Percent Impervious	31%	31%	31%	31%	31%
Average Runoff [in]	0.65	0.76	1.18	1.55	2.34
Peak Discharge [cfs]	0.21	0.24	0.85	1.93	4.78
Runoff Volume [cft]	5,666	6,643	10,284	13,512	20,452

Developed Land Use

Time-of-Concentration [hr]	0.17				
Percent Impervious	49%	49%	49%	49%	49%
Average Runoff [in]	1.53	1.80	2.75	3.47	4.82
Peak Discharge [cfs]	3.35	4.18	7.22	9.35	13.33
Runoff Volume [cft]	13,385	15,682	23,971	30,274	42,054
Volume Retained by BMPs [cft]	13,385	15,682	23,971	30,274	42,054
BMP Volume Credited to Detention [cft]	5,194	5,194	5,194	5,194	5,194
Volume Released [cft]	8,191	10,488	18,777	25,080	36,860
Peak Discharge Released [cfs]	0.98	1.97	6.61	9.35	13.33

Developed with BMPs and Detention

Peak Discharge Released [cfs]	N.A.	N.A.	N.A.	N.A.	N.A.
Maximum Volume Detained [cft]	N.A.	N.A.	N.A.	N.A.	N.A.

Disclaimer:

This spreadsheet is furnished by the Grand Valley Metropolitan Council (GVMC) Lower Grand River Organization of Watersheds (LGROW) and Fishbeck for the convenience of the recipient to show compliance with stormwater standards. Any other use or application of this spreadsheet will be at the user's sole risk.

Nederveld Inc.

Retention Basin & Sediment Forebay Calculations

Project:	1425 Burlingame
Project #:	22401252
Date:	9/28/2023

Retention Storage Calculations:

Detention Basin Contour Areas and Volumes

Min. Elev.	Elev.	Area (s.f.)	Vol. (c.f.)	Vol. (ac-ft)	Cum. Vol.
	606.00	13,168	0	0.000	0.000
	607.00	15,475	14,306	0.328	0.328
	608.00	17,827	16,637	0.382	0.710
	609.00	20,009	18,907	0.434	1.144

100 Year Volume Elevation Interpolation

	Elev.	Vol. (ac-ft)	Area (s.f.)
	608.0	0.710	17,827
>	608.59	0.965	19,109
	609.0	1.144	20,009

Sediment Forebay Sizing Calculations:

Detention Basin Contour Areas and Volumes

Min. Elev.	Elev.	Area (s.f.)	Vol. (c.f.)	Vol. (ac-ft)	Cum. Vol.
	606.00	370	0	0.000	0.000
	607.00	728	539	0.012	0.012

Pretreatment Volume Elevation Interpolation

	Elev.	Vol. (ac-ft)	Area (s.f.)
	606.0	0.000	370
>	607.00	0.012	727
	607.0	0.012	728

WQ Volume = 3,582 cf
 Pretreatment Vol (WQ Vol*0.15) = 537 cf

EXHIBIT B – Storm Sewer Design (10 year
Storm Event)

Storm Sewer Design: 10 Year Storm

MODEL OF DEVELOPED AREAS																							
From	To	C	Factored C, overall area	Time (min)	Time Inc. (min)	Area Increment	Total Area (acres)	I (in/hr)	Q (cfs)	L (ft)	Pipe Size (in)	Type of Pipe	Full Flow Capacity (cfs)	Full Flow HGL (%)	Actual Pipe Grade (%)	Full Flow Velocity (ft/s)	Head loss in structures (ft)	Head loss in pipe (ft)	Crown of pipe elev. (ft)	Invert Elevation upstream (ft)	Invert Elevation Downstream (ft)	Rim Elevation (Upstream)	APPROX. HG elev @ upstream MH
104	103	0.90	0.90	10.0	0.54	0.481	0.481	4.56	1.98	52	15	C	5.09	0.09	0.62	1.61	0.50	0.05	608.95	607.70	607.38	608.80	609.82
103	102	0.52	0.76	10.5	0.35	0.277	0.758	4.46	2.57	44	15	C	5.09	0.16	0.62	2.10	0.50	0.07	608.63	607.38	607.11	610.50	609.28
RD2	102	0.90	0.90	10.0	0.04	0.221	0.221	4.56	0.91	6	8	P	1.31	0.48	1.00	2.60	0.50	0.03	608.50	607.83	607.77		609.23
102	101		0.79	10.9	1.16		0.979	4.39	3.41	134	18	C	8.28	0.11	0.62	1.93	0.50	0.14	608.61	607.11	606.27	611.46	608.71
RD1	101	0.90	0.90	10.0	0.04	0.221	0.221	4.56	0.91	6	8	P	1.31	0.48	1.00	2.60	0.50	0.03	607.66	607.00	606.94		608.59
101	100		0.81	12.0	0.32		1.200	4.16	4.06	44	18	C	8.28	0.15	0.62	2.30	0.50	0.07	607.77	606.27	606.00	610.73	608.07
100																					607.50		
RD3	200	0.90	0.90	10.0	0.44	0.206	0.206	4.56	0.85	64	8	P	1.31	0.42	1.00	2.43	0.50	0.27	607.30	606.64	606.00		607.43
200	Crown of pipe discharging to retention basin:																				606.67		

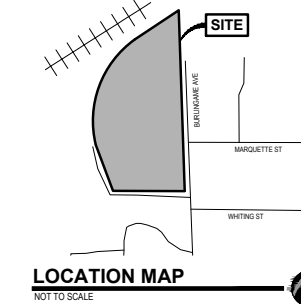
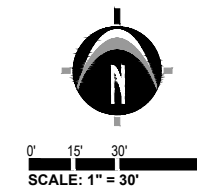
EXHIBIT C – LGROW Catchment Areas Map

PREPARED FOR:
 JAG Development Inc
 Todd Grasman

3714 28th Street SW
 Grandville, MI 49418

REVISIONS:

Title: Proposed Grading	Drawn: DCJW	Checked: RP	Date: 08.25.2023
Title: Proposed Site Plan	Drawn: DCJW	Checked: RP	Date: 09.15.2023
Title: Site Plan Submittal	Drawn: DCJW	Checked: RP	Date: 09.28.2023



SUB 3 - SHEET FLOW TO BASIN:
0.54 ACRES

SUB 3 - SHEET FLOW TO BASIN:
0.54 ACRES

SUB 4 - RETENTION BASIN:
0.46 ACRES

SUB 1 - NORTH SIDE OF BUILDING
& EAST SIDE OF SITE:
1.20 ACRES

SUB 2 - SOUTH SIDE OF BUILDING:
0.21 ACRES

SUB 3 - SHEET FLOW TO BASIN:
0.54 ACRES

811 Know what's below.
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

MICHIGAN FOAM PRODUCTS

Catchment Areas Map

1413, 1415, & 1425 Burlingame Avenue SW
 PART OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R12W,
 CITY OF WYOMING, KENT COUNTY, MICHIGAN

STAMP:

PROJECT NO:
22401252

SHEET NO:
C-900

EXHIBIT D – Storm Sewer Catchment Areas
Map

PREPARED FOR:
 JAG Development Inc
 Todd Grasman

3714 28th Street SW
 Grandville, MI 49418

REVISIONS:

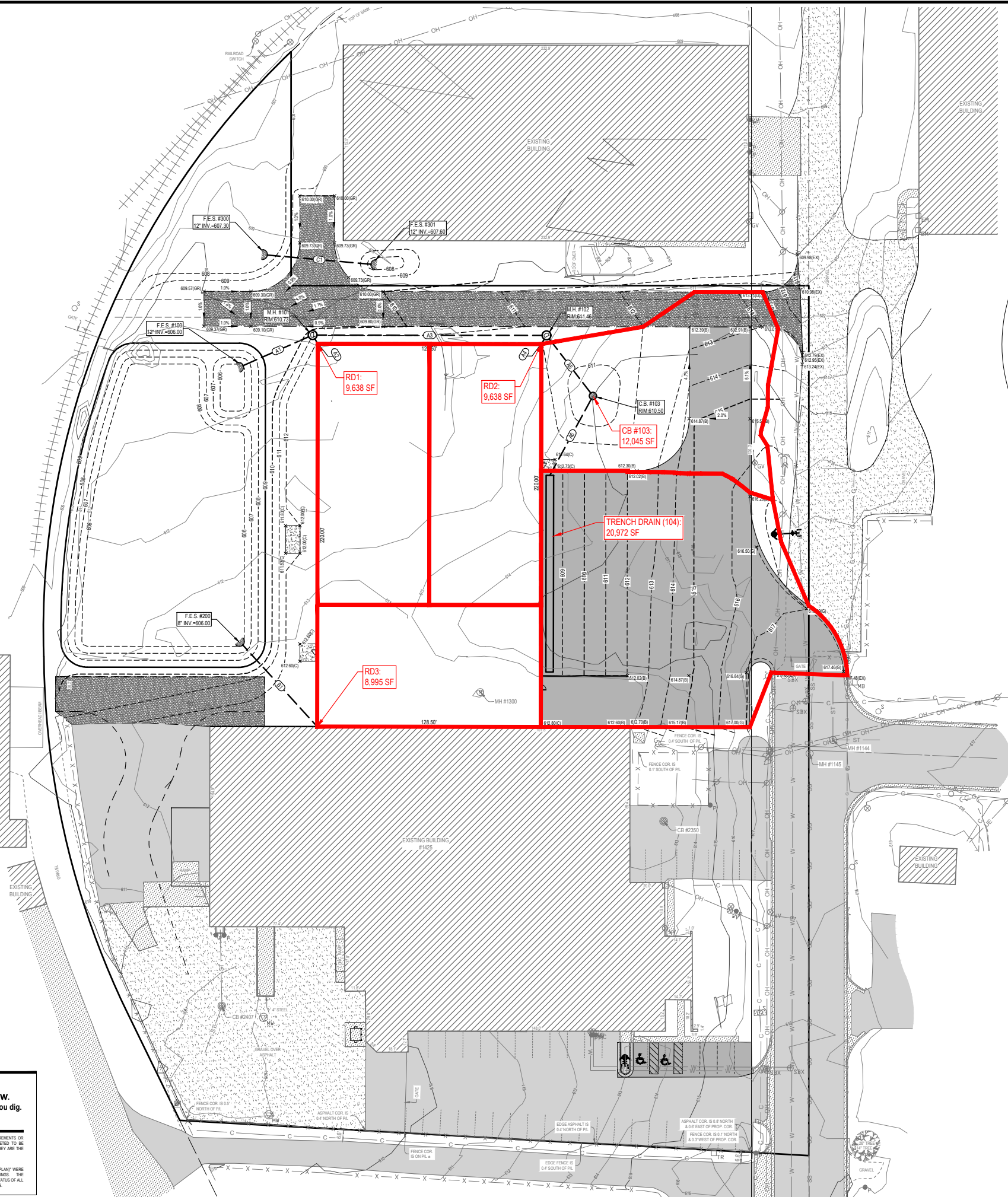
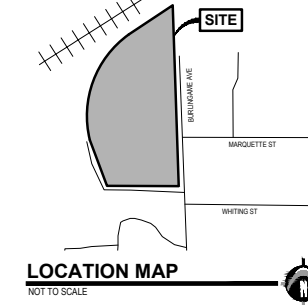
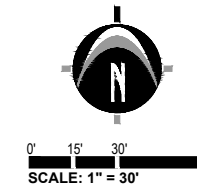
Title: Proposed Grading	Drawn: DCJW	Checked: RP	Date: 08.25.2023
Title: Proposed Site Plan	Drawn: DCJW	Checked: RP	Date: 09.15.2023
Title: Site Plan Submittal	Drawn: DCJW	Checked: RP	Date: 09.28.2023

MICHIGAN FOAM PRODUCTS
Storm Sewer Catchment Areas Map
 1413, 1415, & 1425 Burlingame Avenue SW
 PART OF THE NORTHEAST 1/4 OF SECTION 3, T6N, R12W,
 CITY OF WYOMING, KENT COUNTY, MICHIGAN

STAMP:

PROJECT NO:
 22401252

SHEET NO:
C-901



811 Know what's below.
 CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
 EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

FLOOR PLAN NOTES

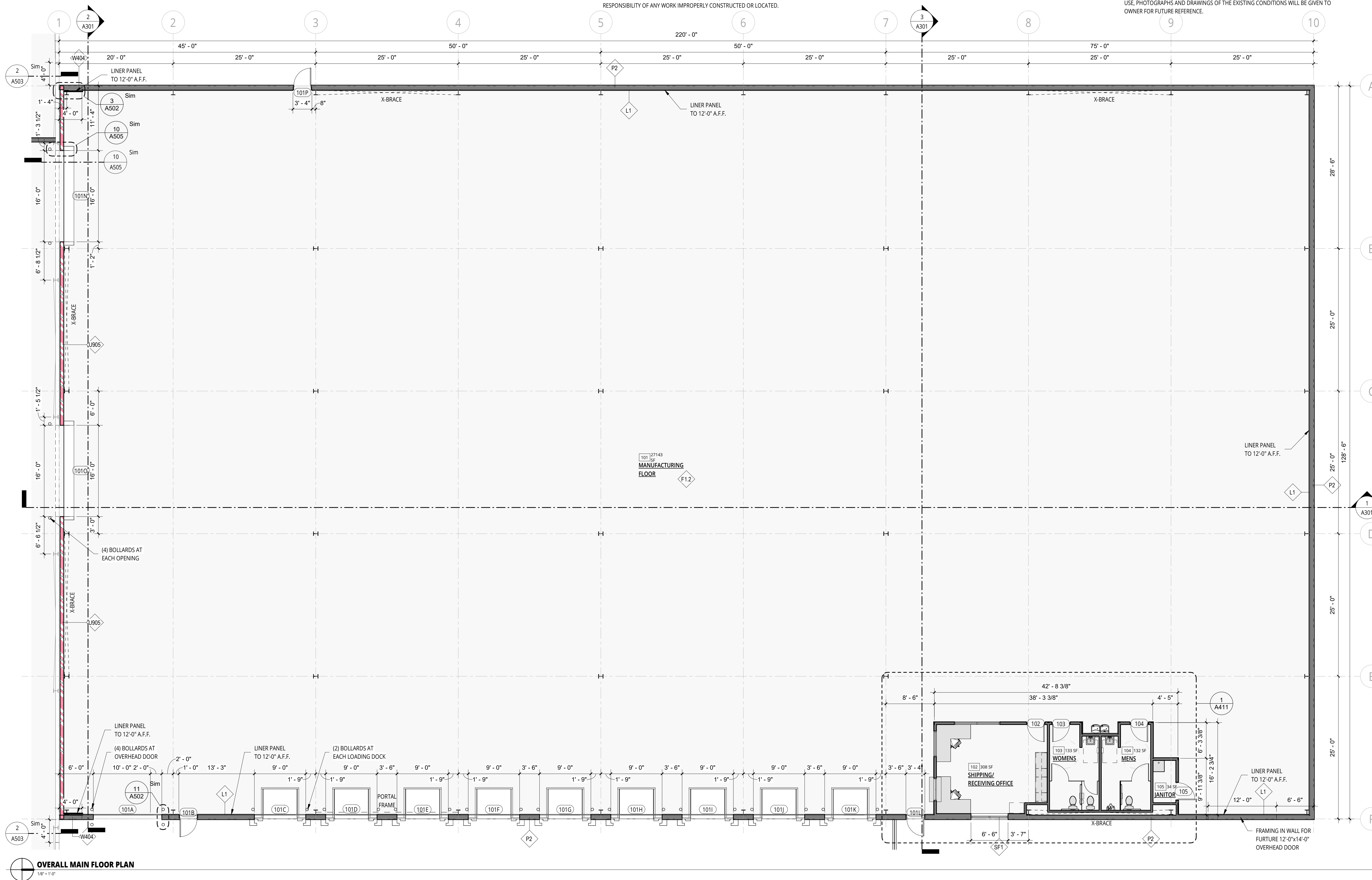
- 1 ALL CONSTRUCTION TO MEET APPLICABLE LOCAL, STATE, AND NATIONAL CODES.
- 2 SUBCONTRACTORS TO REVIEW ALL CIVIL, STRUCTURAL, ARCHITECTURAL & DESIGN BUILD DRAWINGS TO COORDINATE THEIR WORK. NOTIFY ARCHITECT WITH ANY POTENTIAL CONFLICTS.
- 3 ALL DIMENSIONS ARE TO GRIDS, FINISH FACE OF DRYWALL OR FACE OF FOUNDATION AT EXTERIOR WALLS.
- 4 SUBCONTRACTOR TO USE CARE IN ALL AIRSEALING AND INSULATION DETAILS. SEE TYPICAL DETAILS FOR FURTHER INFORMATION.
- 5 SUBCONTRACTORS ARE TO VERIFY AND CHECK ALL DIMENSIONS BEFORE WORK IS STARTED.
- 6 SUBCONTRACTORS WHO FAIL TO VERIFY, REVIEW, AND COORDINATE WORK SHALL TAKE FULL RESPONSIBILITY OF ANY WORK IMPROPERLY CONSTRUCTED OR LOCATED.

FLOOR PLAN NOTES

- 7 SUBCONTRACTORS SHALL NOTIFY ARCHITECT IF DIMENSIONAL ERRORS OR STRUCTURAL CONFLICTS OCCUR; AND SHALL PROCEED UPON CLARIFICATION OR REVISION ISSUED BY ARCHITECT.
- 8 VERIFY ALL ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS BEFORE FRAMING.
- 9 ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS ARE DESIGN BUILD BY OTHERS. ARCHITECT TO REVIEW FINAL SUBMITTAL FOR APPROVAL.
- 10 ARCHITECT TO COORDINATE DESIGNS BY OTHERS WITH ARCHITECTURAL DRAWINGS.
- 11 SUBCONTRACTORS TO VERIFY ALL ROUGH OPENINGS WITH PRODUCT SUPPLIERS.
- 12 TRANSITION LINES OF DIFFERING FLOOR MATERIALS SHALL OCCUR AT CENTERLINE OF CLOSED DOOR.

FLOOR PLAN NOTES

- 13 UNLESS NOTED, ALL DOOR FRAMES TO BE 4" FROM ADJACENT FINISHED WALL AT HINGE, OR BE COORDINATED WITH DOOR FRAME SIZE.
- 14 PROVIDE CONTROL JOINTS IN GYP. WALLBOARD AS RECOMMENDED BY WALLBOARD MANUFACTURER. COORDINATE LOCATION WITH ARCHITECT (APPROX. 30"). SUBMITTAL REQUIRED.
- 15 SLOPE ALL EXTERIOR CONCRETE MIN. 1/8" FOOT AWAY FROM BUILDING.
- 16 FIELD VERIFY LOCATIONS OF ALL DOWNSPOUTS (INTERNAL OR EXTERNAL).
- 17 SUBCONTRACTOR TO PROVIDE 2X6 MINIMUM BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, MILLWORK, COAT HOOKS, MEDIA EQUIPMENT, HARDWARE, OVERHEAD DOORS, DOCK LEVELER CONTROLS, FIRE EXIT, FIRE EXTINGUISHERS, DOCK SEALS, AND OTHER ITEMS AS REQUIRED. IF BLOCKING IS BURIED IN WALL FOR FUTURE USE, PHOTOGRAPHS AND DRAWINGS OF THE EXISTING CONDITIONS WILL BE GIVEN TO OWNER FOR FUTURE REFERENCE.



9/28/2023 10:00:00 AM 23009 A111 ADDITION MAIN FLOOR PLAN



MICHIGAN FOAM PRODUCTS
FACILITY ADDITION
1425 BURLINGAME AVE SW, WYOMING, MI 49509

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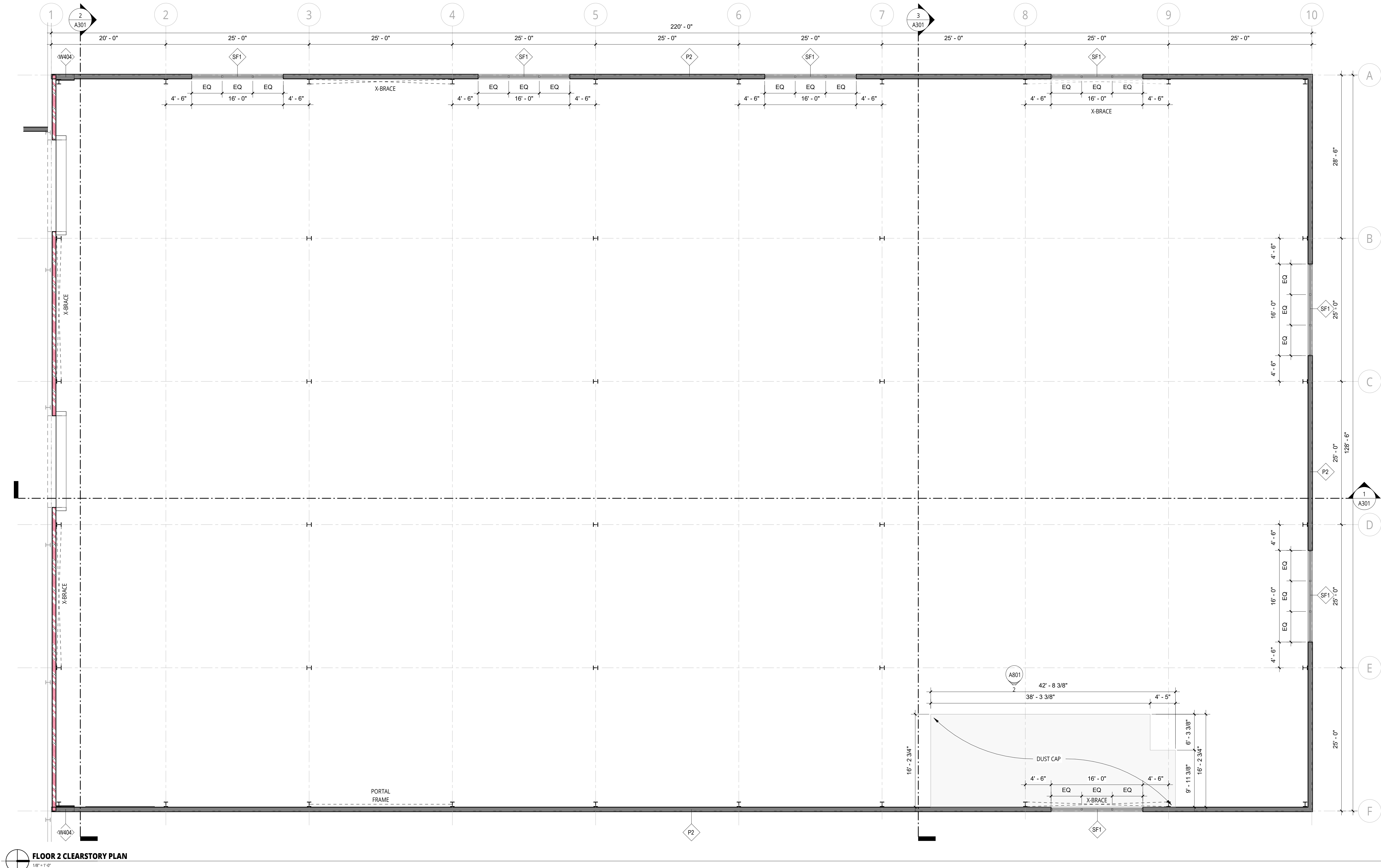
REVISIONS:

No.	Description	Date
SD	BUDGET DRAWING	08.10.2023
SET	PERMIT & CONSTRUCTION SET	09.14.2023
	SITE PLAN APPROVAL	09.28.2023

PROJECT NO: 23009
DRAWN BY: AM
REVIEWED BY: JF
SHEET NAME: ADDITION MAIN FLOOR PLAN
SHEET NO:

A111

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FLOOR 2 CLEARSTORY PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION

MICHIGAN FOAM PRODUCTS
FACILITY ADDITION
1425 BURLINGAME AVE SW, WYOMING, MI 49509

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2	SET	09.14.2023
3	PERMIT & CONSTRUCTION SET	09.14.2023
4	SITE PLAN APPROVAL	09.28.2023

PROJECT NO:
23009
DRAWN BY:
AM
REVIEWED BY:
JF
SHEET NAME:
OVERALL
CLEARSTORY PLAN
SHEET NO:

A121

ROOFING NOTES

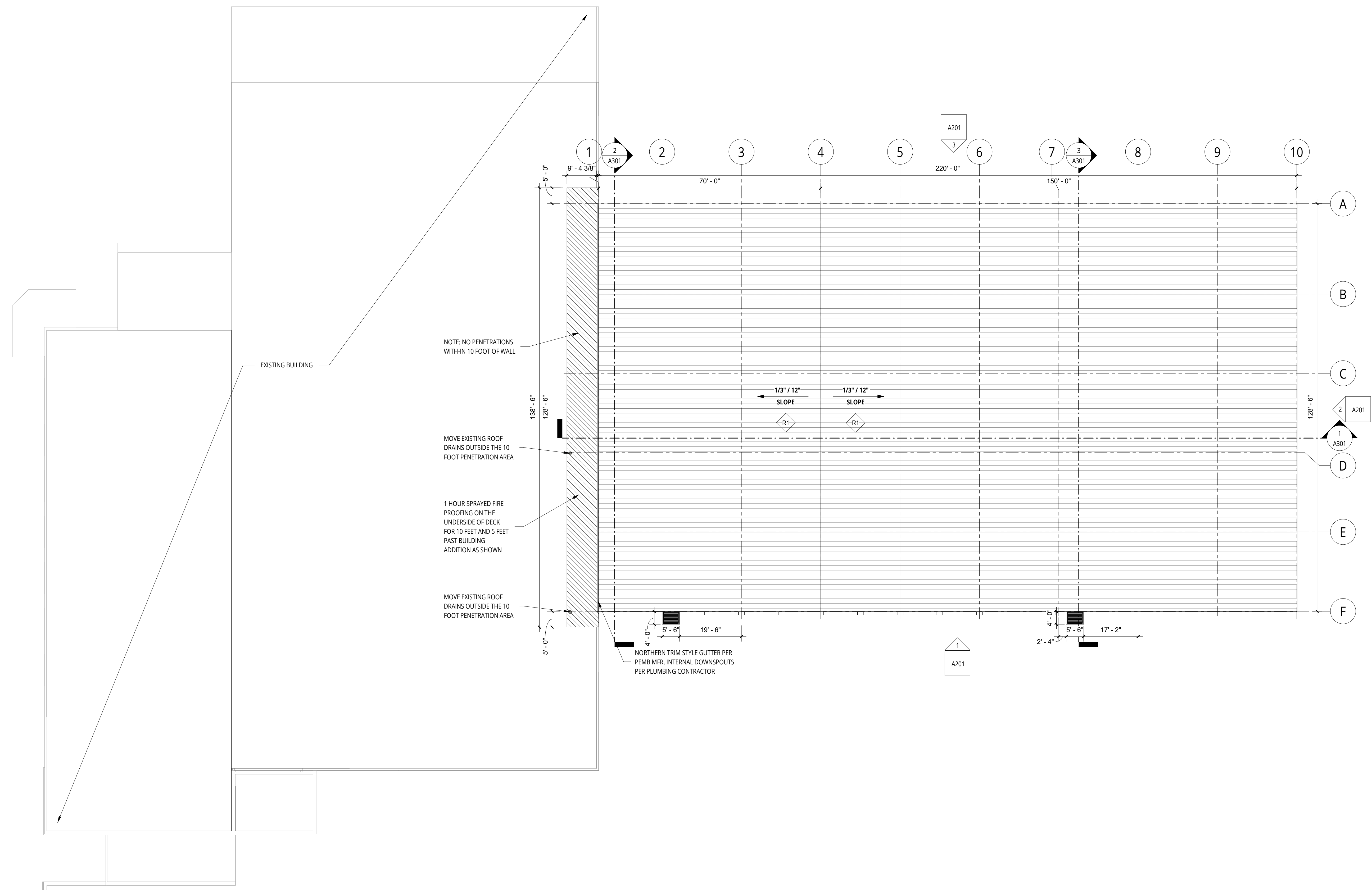
- SEE PLANS FOR ROOF OVERHANG DISTANCES.
- ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN.
- ALL BALCONIES SHALL SLOPE A MINIMUM OF 2% TOWARD DRAINS U.N.O.
- WATER SHALL NOT BE ABLE TO PUDDLE ON ANY PART OF THE ROOF AND NO OBSTACLE SHALL PREVENT WATER TO FLOW TO DRAINS.
- CRICKETS TO BE 1/2" ROOF PLYWOOD SHEATHING FRAMED WITH 2X @ 16 INCH O.C. MINIMUM.
- GUTTERS SHALL SLOPE 1/16 INCH PER FOOT TOWARD DOWNSPOUTS.

ROOFING NOTES

- SEE ROOF PLAN AND ELEVATIONS FOR DOWNSPOUT LOCATIONS.
- CONTRACTOR TO TEST ALL CONCEALED DOWNSPOUTS FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDING AND SHALL PROVIDE A 10 YEAR WARRANTY AGAINST LEAKAGE.
- ROOF DRAINAGE TO BE CONNECTED TO SITE DRAINAGE SYSTEM. ALL RAIN WATER TO BE DIRECTED TO STREET OR CITY APPROVED OUTLET. SEE CIVIL AND LANDSCAPE PLANS.
- VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. SUBMITTAL REQUIRED.

ROOFING NOTES

- ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS.
- COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL. PROVIDE COLOR SAMPLES FOR ARCHITECT APPROVAL. SUBMITTAL REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL FLASHING, UNDERLAYMENT, AND ROOF PENETRATIONS ARE INSTALLED USING INDUSTRY STANDARD METHODS AND THAT ALL DETAILS ARE IN COMPLIANCE WITH MANUFACTURER RECOMMENDATIONS.



ROOF PLAN
1/16" = 1'-0"

9/28/2023 10:00:02 AM 23009 A131 ROOF PLAN



MICHIGAN FOAM PRODUCTS
FACILITY ADDITION
1425 BURLINGAME AVE SW, WYOMING, MI 49509

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No.	Description	Date
1	SD BUDGET DRAWING	08.10.2023
2	PERMIT & CONSTRUCTION SET	09.14.2023
3	SITE PLAN APPROVAL	09.28.2023

PROJECT NO: 23009
DRAWN BY: AM
REVIEWED BY: JF
SHEET NAME: ROOF PLAN
SHEET NO:

A131

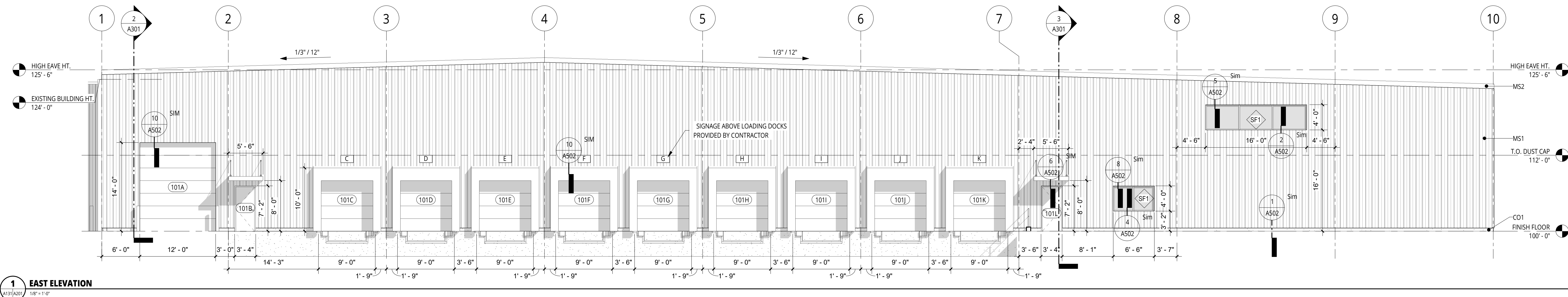
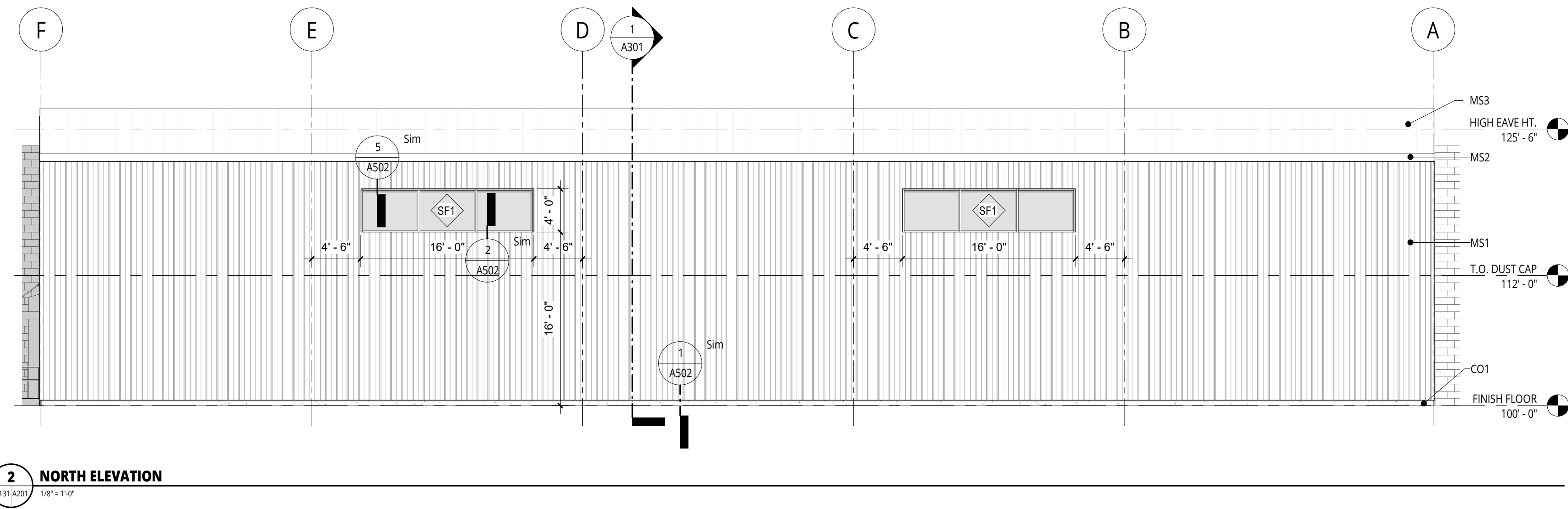
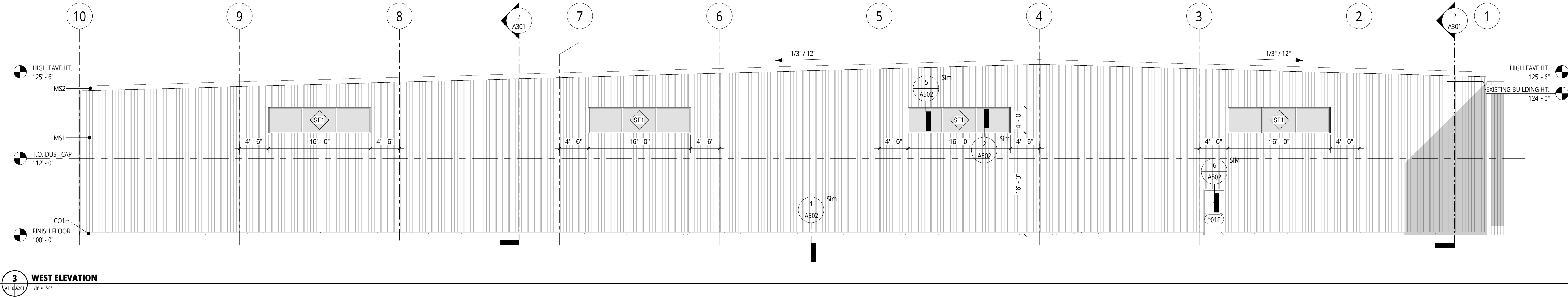
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EXTERIOR FINISH SCHEDULE

TAG	DESCRIPTION	SPEC SECTION	MANUFACTURER	FINISH / COLOR
STORE FRONT				
SF-1	ALUMINUM STORE FRONT WINDOWS	08 51 13	AS SELECTED BY CONTRACTOR	ANODIZED ALUMINUM
CONCRETE				
CO-1	CONCRETE WALL	03 30 00	AS SELECTED BY CONTRACTOR	RAW / STANDARD
METAL SIDING				
MS-1	METAL SIDING	13 34 19	PRE-ENGINEERED BUILDING SUPPLIER	TBD
MS-2	METAL TRIM	13 34 19	PRE-ENGINEERED BUILDING SUPPLIER	TBD
MS-3	METAL ROOF	13 34 19	PRE-ENGINEERED BUILDING SUPPLIER	GALVALUME

ELEVATION NOTES

- SUBCONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS AND ENVELOPE LIMITS. INFORM ARCHITECT OF ANY DISCREPANCIES.
- ALL EXPOSED MECHANICAL AND PLUMBING VENT LOCATIONS TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION. COLOR TO MATCH ADJACENT MATERIALS, OR BE PAINTED TO MATCH. CONFIRM COLOR WITH ARCHITECT.
- REFER TO EXTERIOR FINISH SCHEDULE AND PROJECT SPECIFICATIONS FOR ALL EXTERIOR INFORMATION.



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REVISIONS:

No.	DESCRIPTION	Date
SD	BUDGET DRAWING SET	08.10.2023
PERMIT & CONSTRUCTION SET		09.14.2023
SITE PLAN APPROVAL		09.28.2023

PROJECT NO: 23009
 DRAWN BY: AM
 REVIEWED BY: JF
 SHEET NAME: EXTERIOR ELEVATIONS
 SHEET NO:

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A201